

# **Environmental Assessment - Exhibit A**



**LMDC**

Lower Manhattan Development Corporation  
22 Cortlandt Street, 11th Floor New York, NY 10007  
Tel: 212.962.2300 Fax 212.962.2431  
www.renewnyc.com

April 28, 2020

**VIA FIRST CLASS MAIL**

Matthew Maraglio  
New York State Department of State  
Office of Planning Development & Community Infrastructure  
One Commerce Place, 99 Washington Avenue, Suite 1010  
Albany, New York 12231-0001

Re: Jackie Robinson Museum – 75 Varick Street, Manhattan

Dear Mr. Maraglio,

I write on behalf of the Lower Manhattan Development Corporation (“LMDC”). LMDC anticipates submitting a request to the U.S. Department of Housing and Urban Development for the release of Community Development Block Grant program funds to be awarded by LMDC to the Jackie Robinson Foundation (the “Foundation”) for the development of the Jackie Robinson Museum (the “Museum”), located at 75 Varick Street in Manhattan. Because LMDC proposes to fund the Project with federal funds, and 75 Varick Street is located in the Coastal Zone, the project is subject to review under the Coastal Zone Management Act of 1972. Thus, we write to provide the “brief evaluation on the relationship of the proposed activity and any reasonably foreseeable coastal effects to the enforceable policies of the management program” required pursuant to 15 CFR § 930.94(c).

The building at 75 Varick Street, which was constructed in 1929, is a 17-story office building also known as the Holland Plaza Building and One Hudson Square, located four blocks from the Hudson River waterfront. The NYC Landmarks Preservation Commission (“LPC”) designated the Holland Plaza Building an individual landmark in 2013.

The Museum will occupy 19,380 square feet of the southeast corner section of the ground floor of the building at 75 Varick, as well as portions of the Foundation’s current headquarters on the second floor. This project is largely an interior renovation but will include certain exterior renovations that LPC determined in a Certificate of No Effect will not detract from any significant architectural features of the building. The development of the Museum will involve the following modifications to 75 Varick:

**Interior Work**

- 1) Creation of an exhibition space on the ground floor, including installation of new walls, floor, ceiling, HVAC, private stair and elevator to second floor offices.

- 2) Installation of an elevator going from the ground floor to the second floor offices.
- 3) Installation of or upgrades to ground floor MEP systems and the classrooms and archive rooms on the second floor; and bathrooms will be constructed on both the ground and second floors.

### Exterior Work

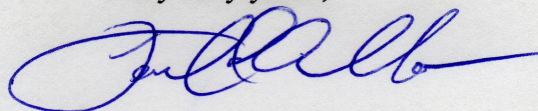
- 1) Modification to Entry Doors.
- 2) Modification to Mechanical Louvers.
- 3) Modification to Storefront Bays.
- 4) Access Actuator for Automatic Doors.

Please see the attached submission to LPC (**Exhibit A**), a full set of the architectural drawings (**Exhibit B**), and LPC's Permit and Certificate of No Effect (**Exhibit C**), for additional detail on the work proposed.

LMDC has evaluated the proposed activity and its reasonably foreseeable coastal effects and considered their relationship to the NYC Waterfront Revitalization program policies. Attached hereto is a completed NYC WRP Coastal Assessment Form for the project, and related documents (**Exhibit D**). Based upon 75 Varick's longstanding use as an office building, the building's location four blocks from the waterfront, and that the project would not detract from any significant architectural features of the building, LMDC has determined that the project would have no reasonably foreseeable effects on the coastal zone.

In light of the above evaluation, and the materials attached, LMDC has concluded that the project is consistent with NYC's WRP policies. If your office has any comments, please reach out to me at your earliest convenience upon receipt of this letter.

Very truly yours,

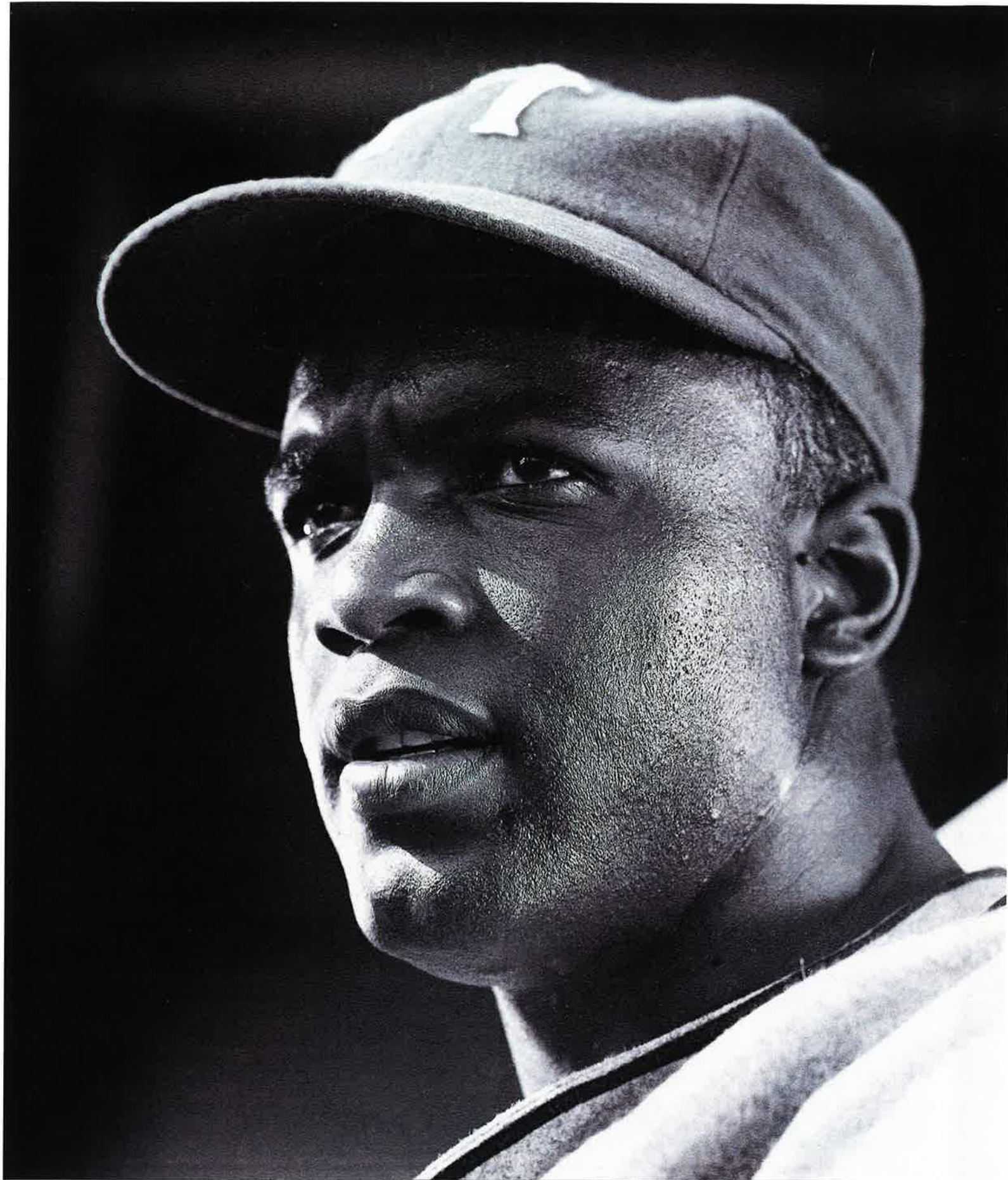


Daniel A. Ciniello

### Enclosures

cc: Michael Marrella, Director  
New York City Department of City Planning  
Office of Waterfront and Open Space Planning  
120 Broadway, 31<sup>st</sup> floor  
New York, NY 10271

# **EXHIBIT A**



# JACKIE ROBINSON MUSEUM

LPC  
2019  
JW

## LPC SUBMISSION

DOCKET# LPC-19-35424

Attention: Lacy Williams

### RESPONSE TO LPC MATERIAL CHECKLIST

75 Varick Street  
Holland Plaza Building  
(now One Hudson Square)

February 14, 2019

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- Mechanical Louvers
- Access Actuator for Automatic Doors

LPC *fw*  
2019  
APPENDIX

# Historic Photos and LPC Designation

LPC *JW*  
2019  
#1910

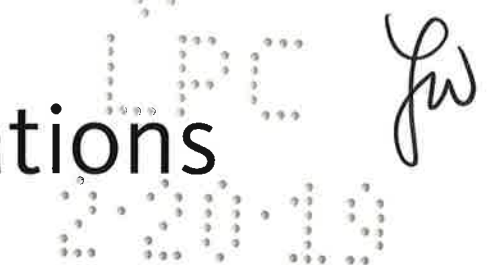
Landmarks Preservation Commission  
September 24, 2013, Designation List 466  
LP-2537

Holland Plaza Building (now One Hudson Square),  
75 Varick Street in Manhattan  
By architect Ely Jacques Kahn, 1930



Photo Credits: Museum of the City of New York

# Existing Conditions Storefront Bays & Door Locations



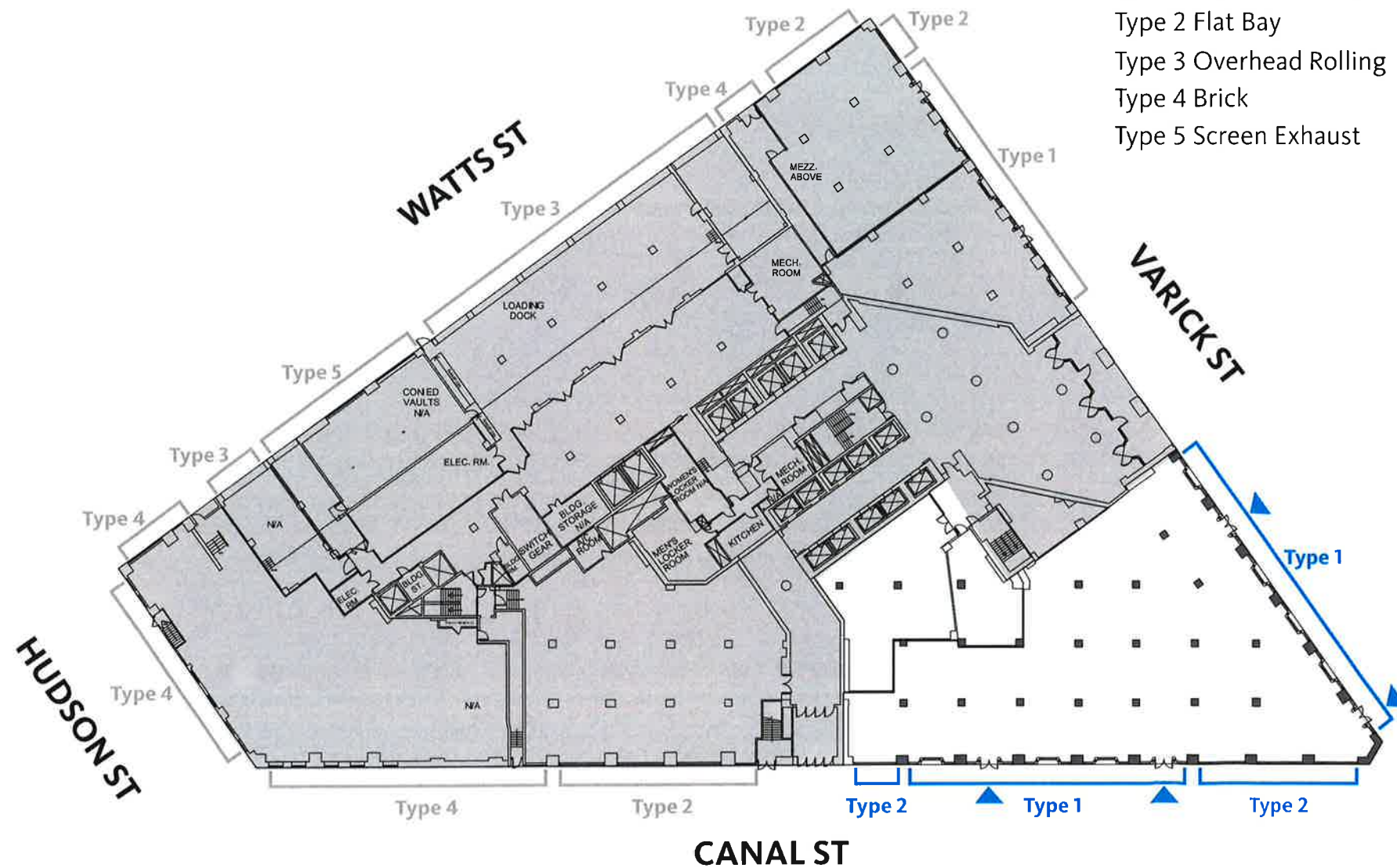
Indicating:

- Existing Storefront Types
- Existing Door Locations

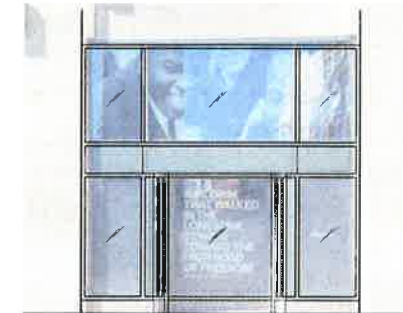
## Existing Ground Floor Plan

**Legend**

- Not In Scope
- In Scope
- Door Location
- Type 1 Chamfered Bay
- Type 2 Flat Bay
- Type 3 Overhead Rolling
- Type 4 Brick
- Type 5 Screen Exhaust



### Type 1 - Chamfered



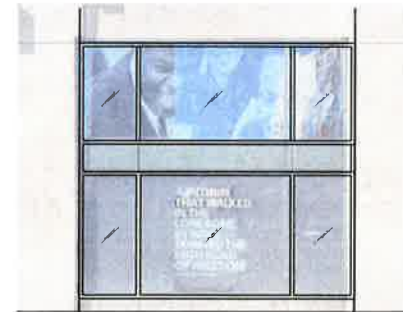
Elevation



Exterior

Plan

### Type 2 - Flat



Elevation



Exterior

Plan

### Type 3 - Overhead Rolling



### Type 4 - Brick

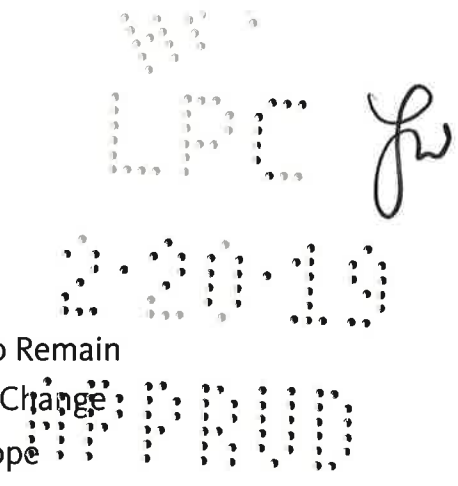


### Type 5 - Screen Exhaust





# Proposed Scope of Work Storefront Bays



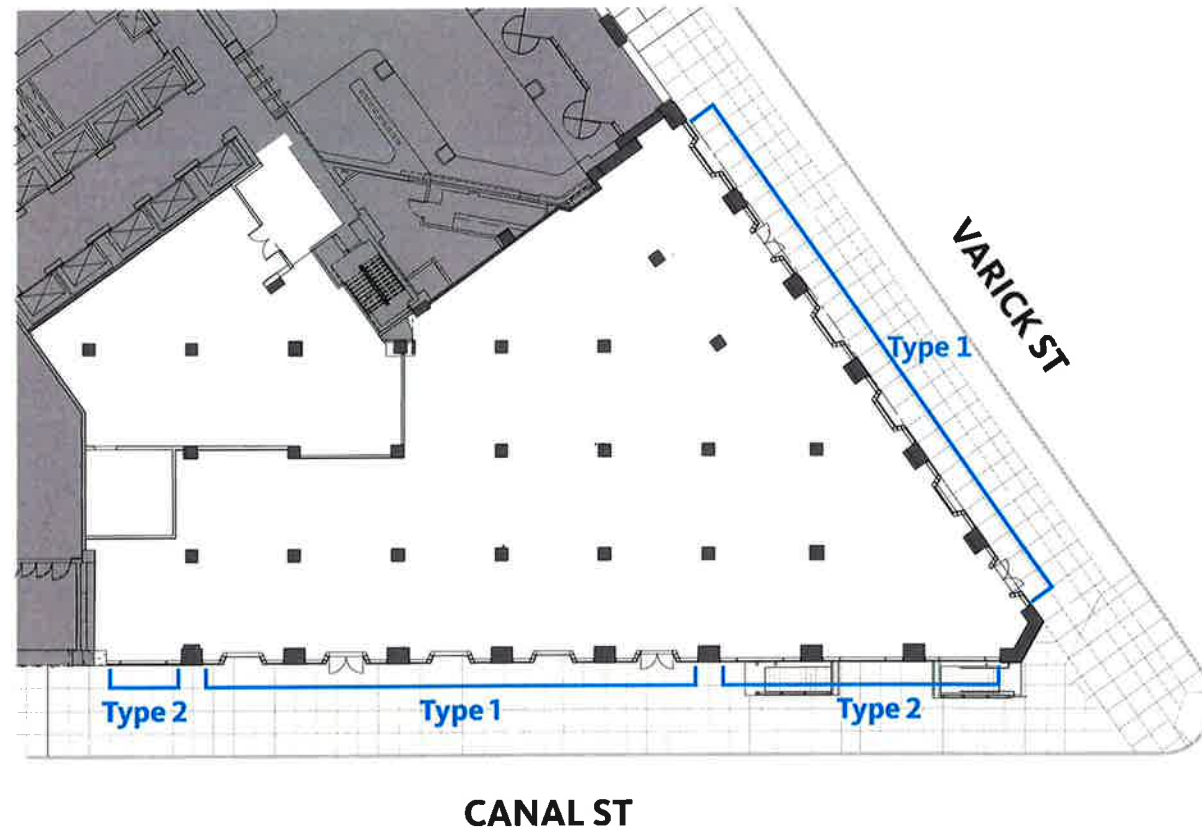
Indicating on Varick Street:

- Two Storefront Bays to Change From Type 1 to Type 2

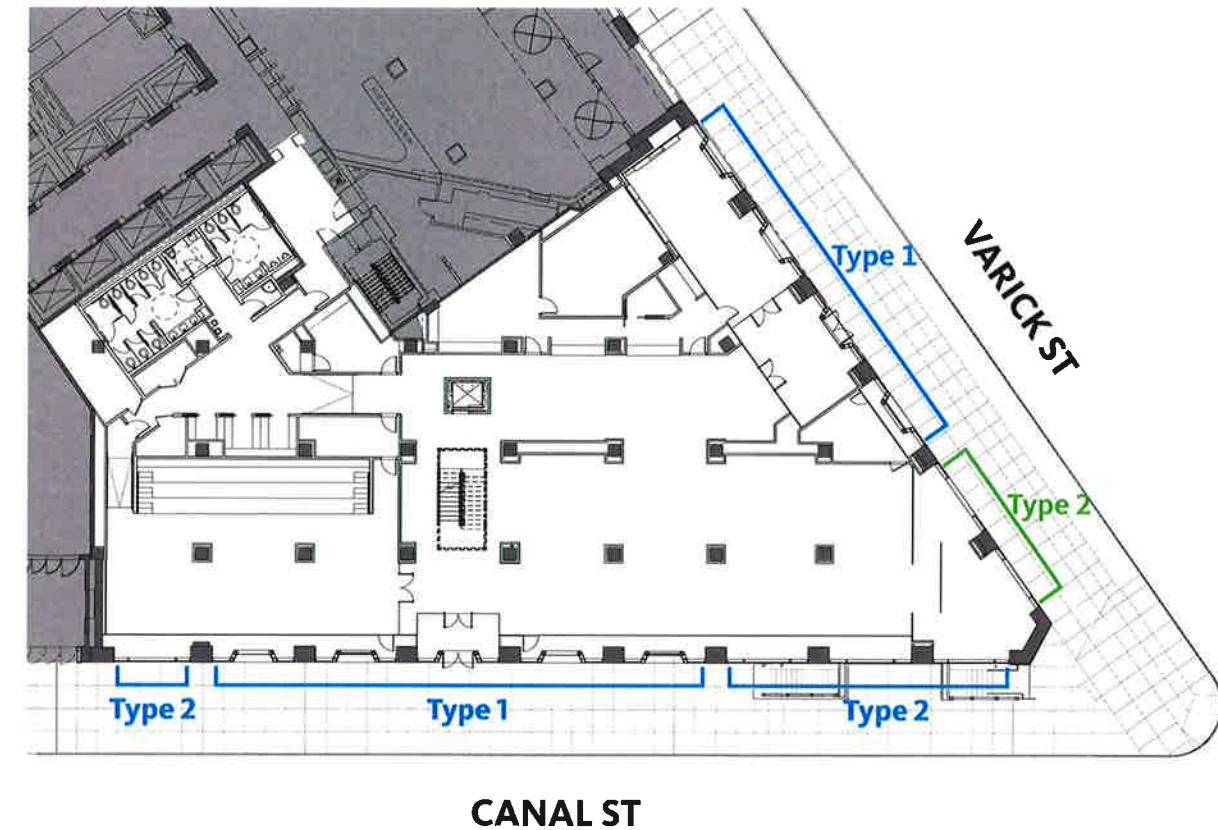
**Legend**

- Existing to Remain
- Proposed Change
- Not In Scope

Existing Ground Floor Plan



Proposed Ground Floor Plan



# Proposed Scope of Work Entry Doors

LPC JW

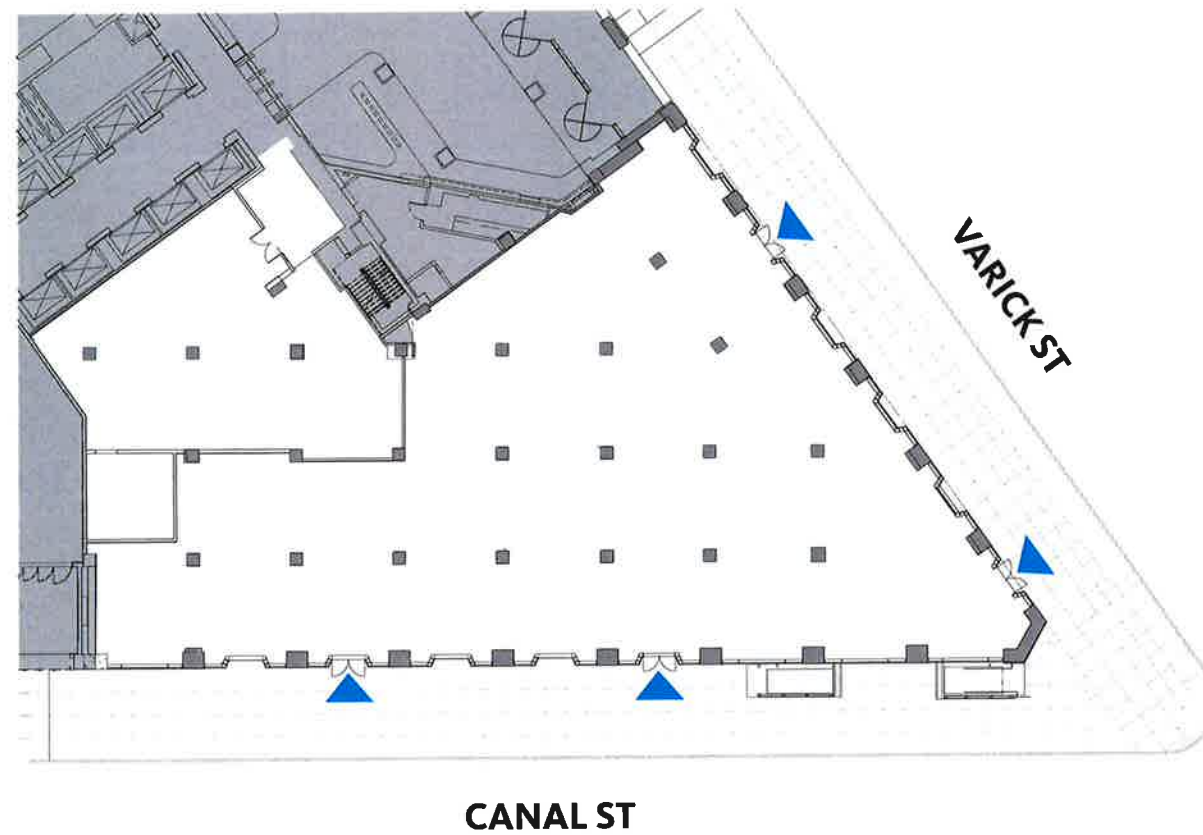
**Legend**

- ▲ Existing Door Locations
- ▲ Existing Doors to be Removed
- ▲ Proposed Door Locations

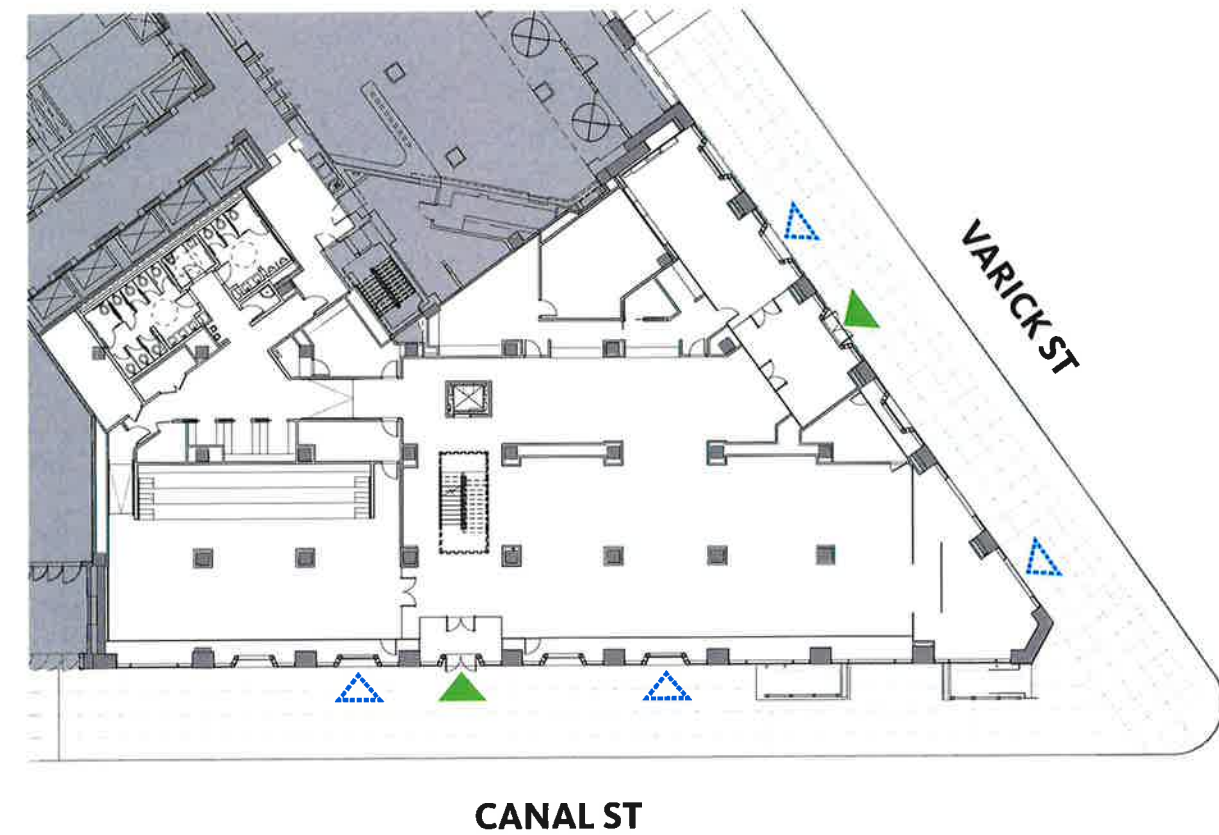
Indicating:

- Existing Door Locations
- Proposed Door Locations

## Existing Door Locations



## Proposed Door Locations



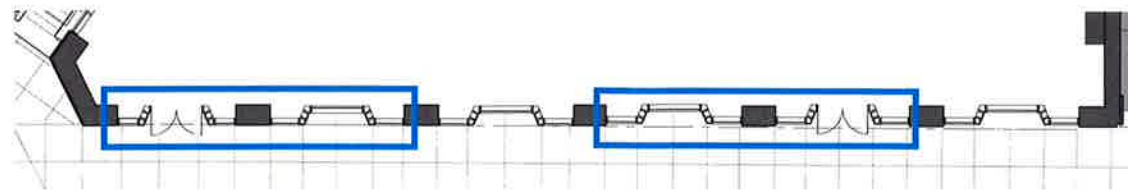
# Proposed Scope of Work Varick Street Storefront Bays Modifications

LPC Jw

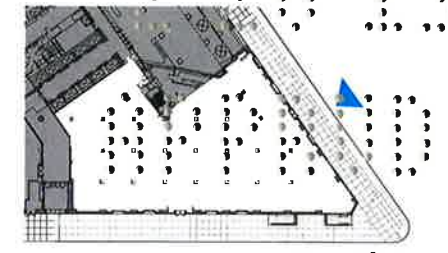
Indicating:  
- Locations of Proposed Work



1 - EXISTING - VARICK ST ELEVATION



2 - EXISTING - VARICK ST PLAN



Key Plan

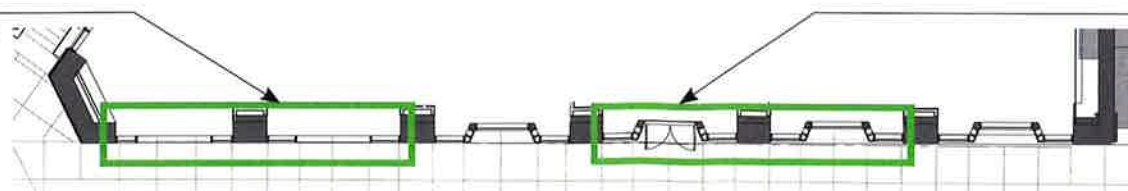
**Legend**

- Existing to Be Modified
- Proposed Conditions



3 - PROPOSED - VARICK ST ELEVATION

New storefront bays



4 - PROPOSED - VARICK ST PLAN

Changed door location  
New door actuator to be added  
(Refer to page 16 for door actuator information)

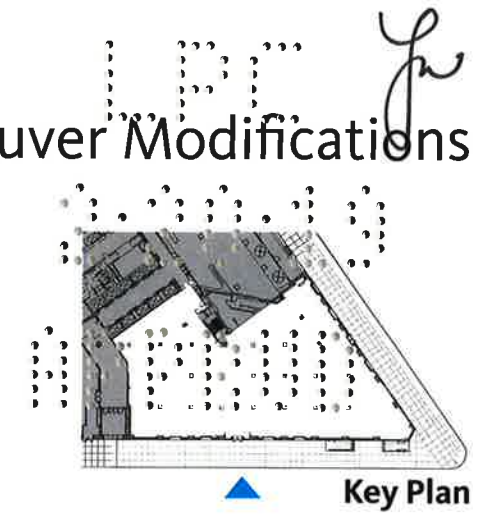
# Proposed Scope of Work Canal Street Storefront Bays & Mechanical Louver Modifications

- Indicating:
- Locations of Proposed Work
  - Existing Mechanical Louvers
  - Proposed Mechanical Louvers



1 - EXISTING - CANAL ST ELEVATION

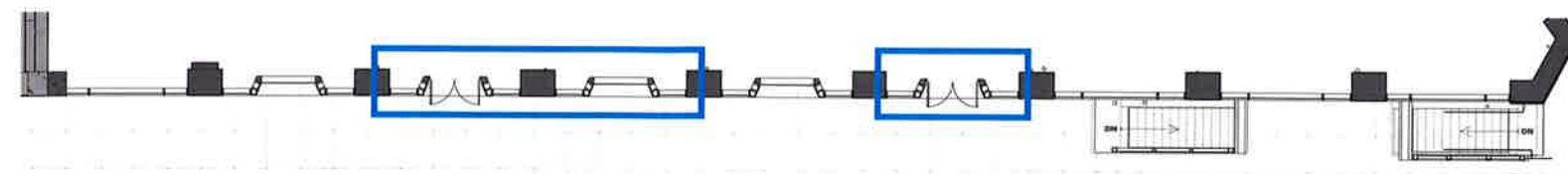
Existing mechanical louvers to remain



Key Plan

### Legend

- Existing to Be Modified
- Proposed Conditions



2 - EXISTING - CANAL ST PLAN

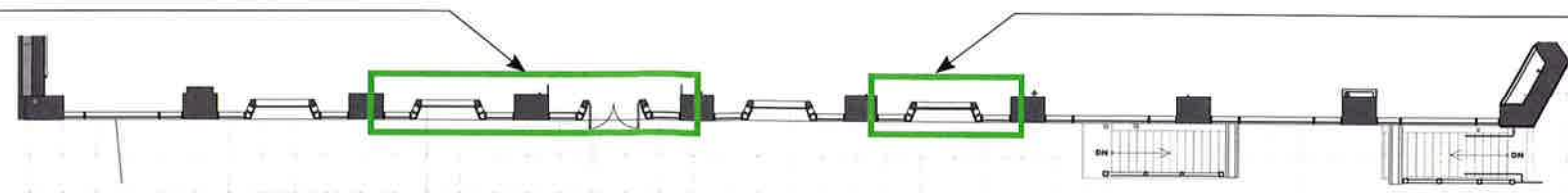
- Fresh air intake louver  
14' - 7"L x 18"H
- Relief louver  
13' - 10"L x 14"H

Note: Louver finish to match existing storefront finish



3 - PROPOSED - CANAL ST ELEVATION

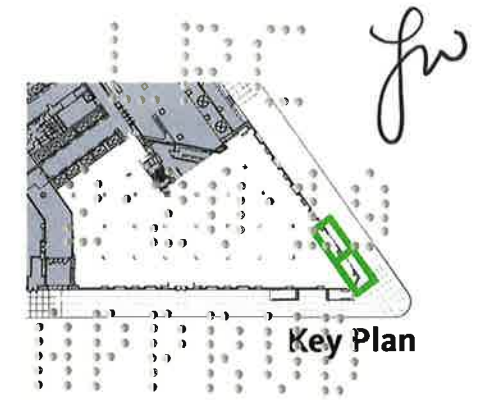
Changed door location



Glazing infill to replace existing door

4 - PROPOSED - CANAL ST PLAN

# Proposed Scope of Work Storefront Bays



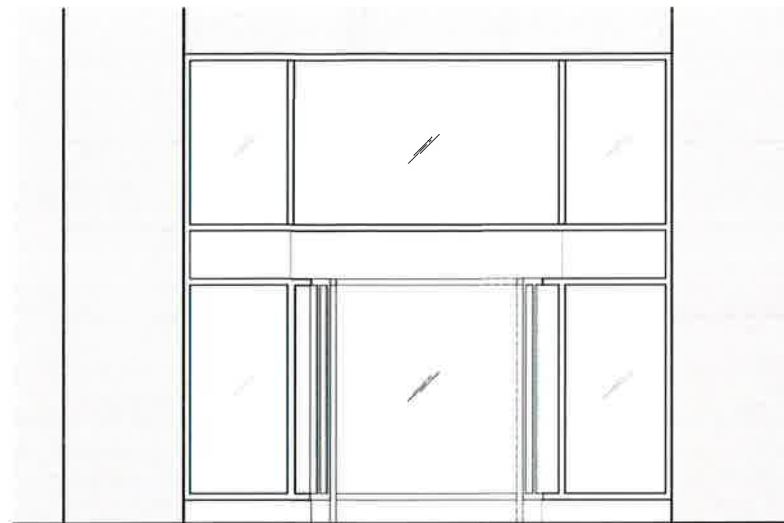
Indicating:

- Existing Chamfered Bay Converted to Proposed Flat Bay

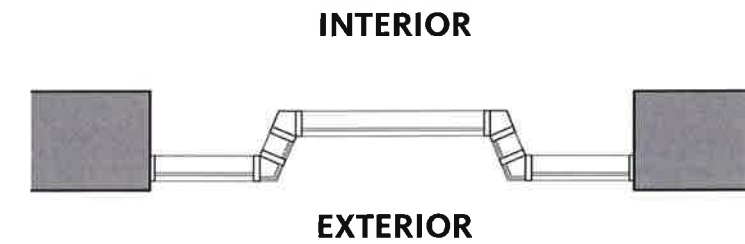
Key

- Not in scope, existing to remain

## Type 1 - Existing Chamfered Bay

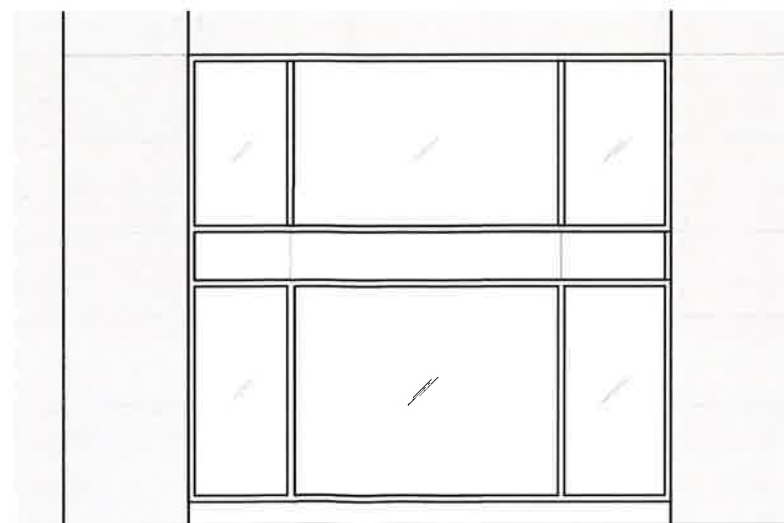
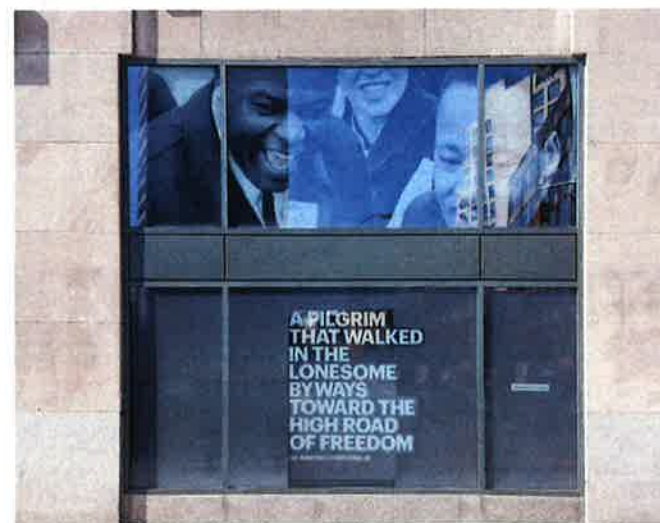


Existing Elevation

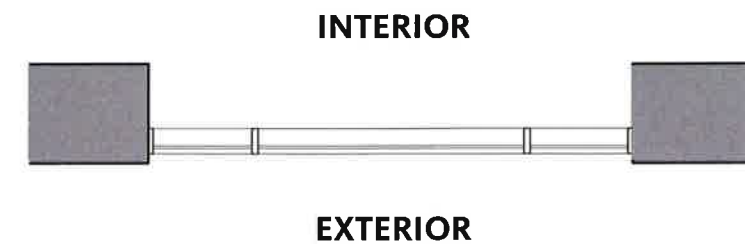


Existing Plan

## Type 2 - Proposed Flat Bay



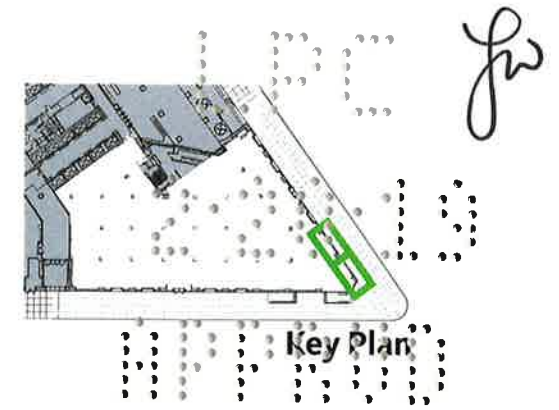
Proposed Elevation



Proposed Plan

- New finishes and materials to match existing.

# Proposed Scope of Work Storefront Bays

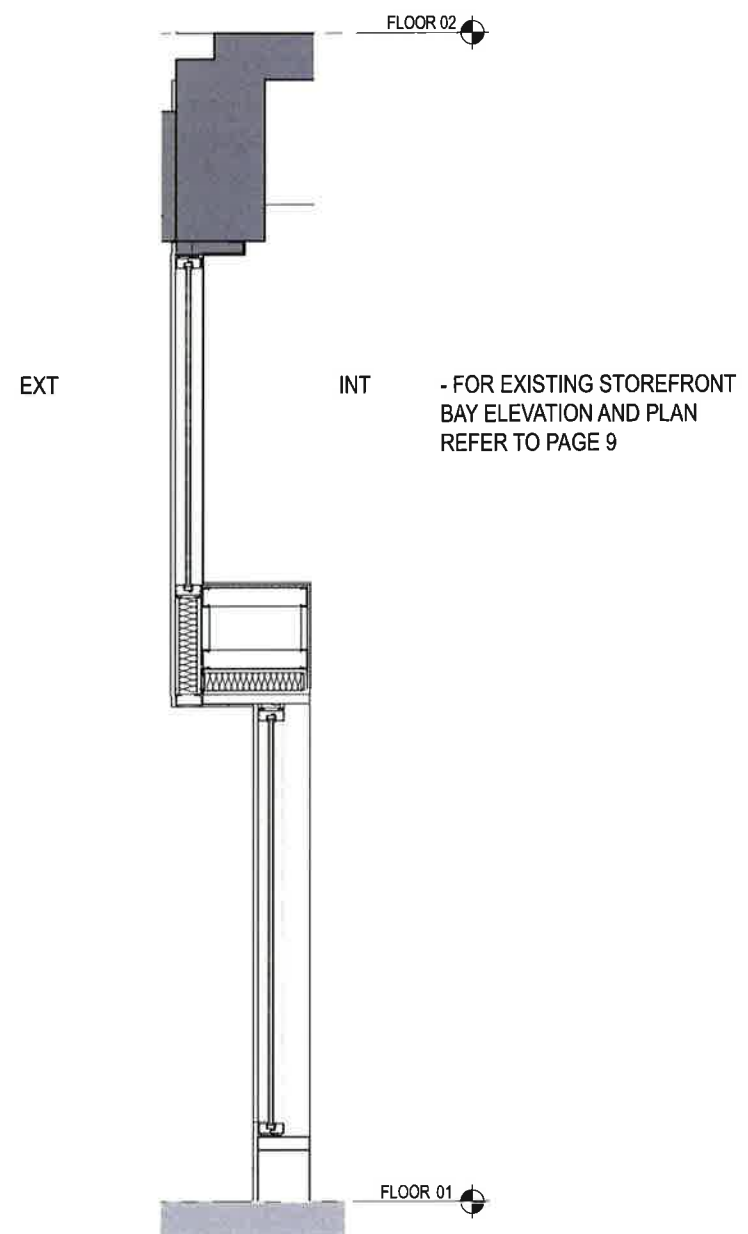


Indicating:

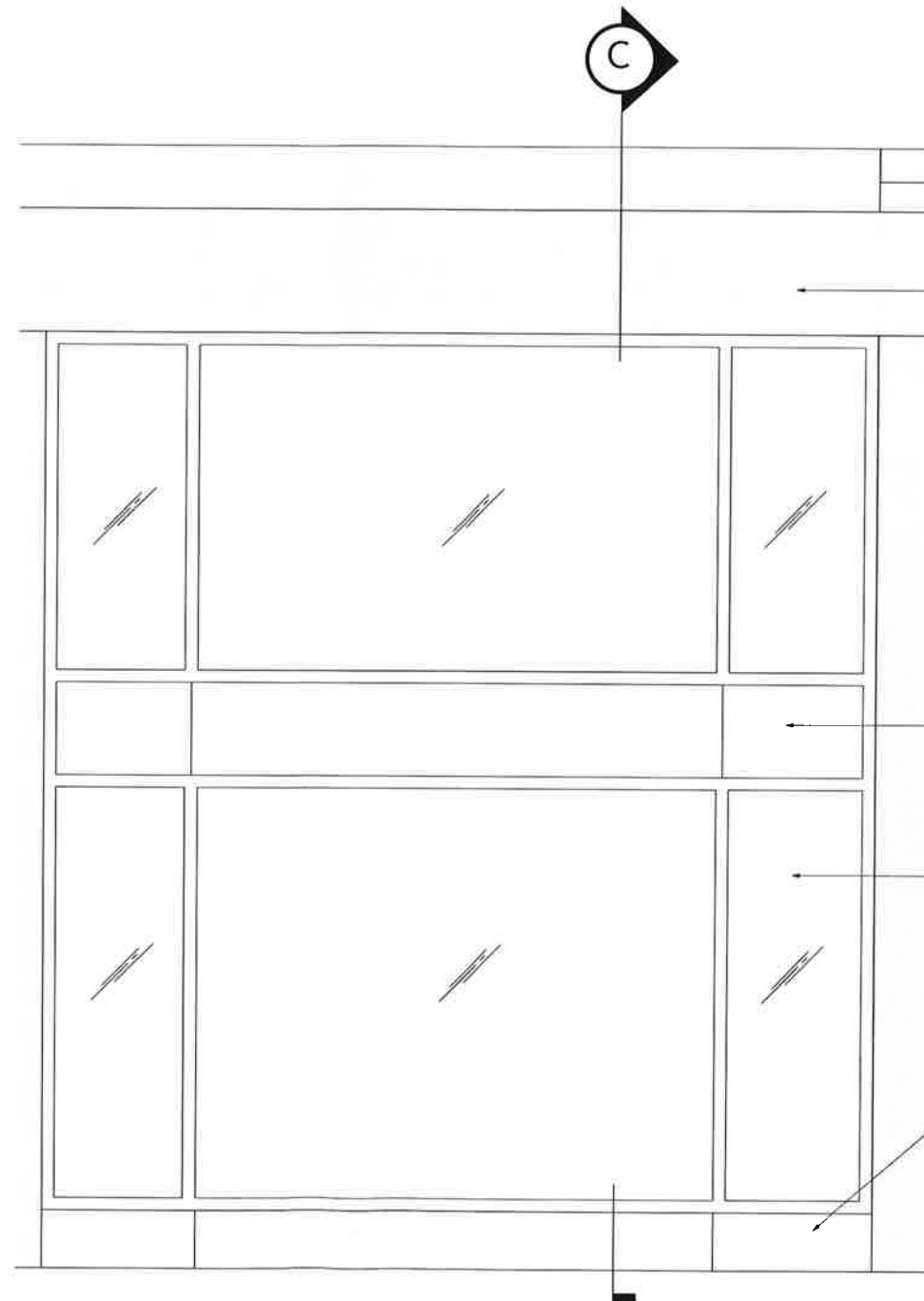
- Proposed Flat Bay Enlarged Elevation and Wall Section

Key

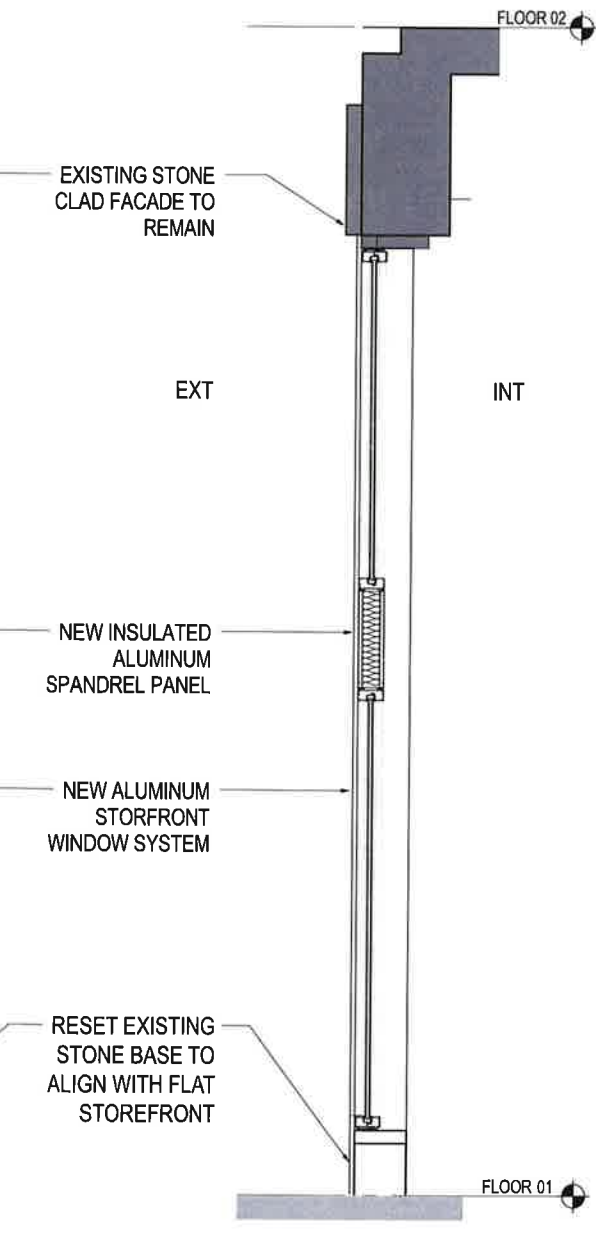
- Not in scope, existing to remain



A - Existing Section at Storefront Bay



B - Proposed Varick Street Enlarged Elevation



C - Proposed Storefront Bay Section (New Flat Bay)

# Proposed Scope of Work Entry Doors

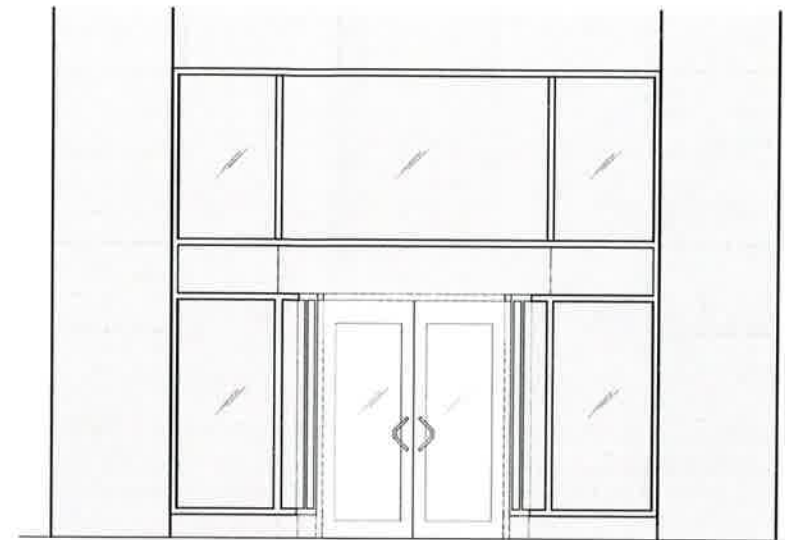
LPC *fw*  
2019

Indicating:

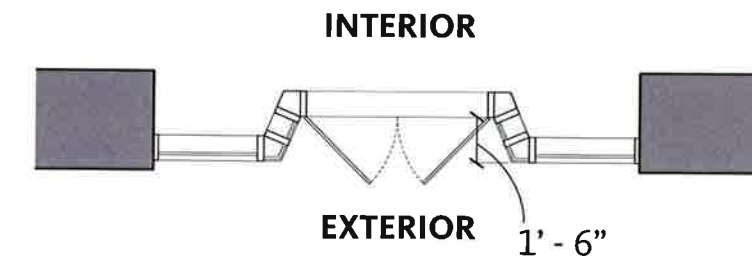
- Existing Doors
- Proposed Doors With New Hardware and ADA Compliant Framed Doors

Key  
 - Not in scope, existing to remain

## Existing Doors - Typical

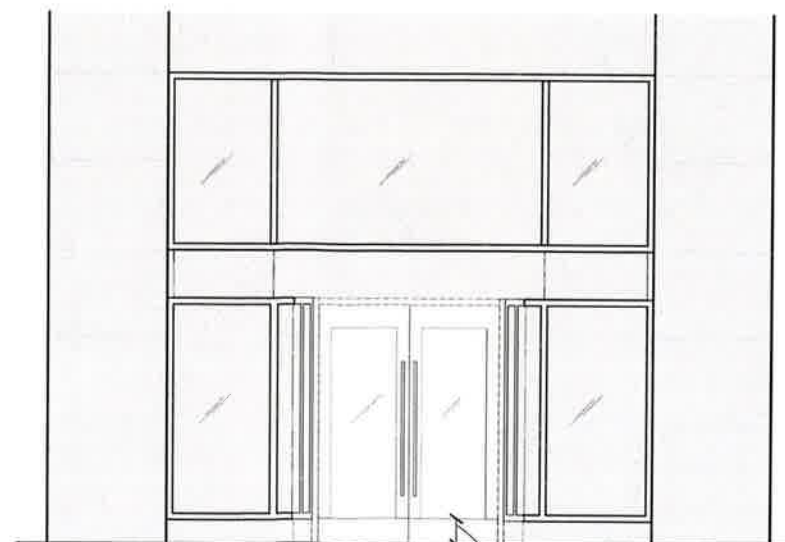


Existing Elevation



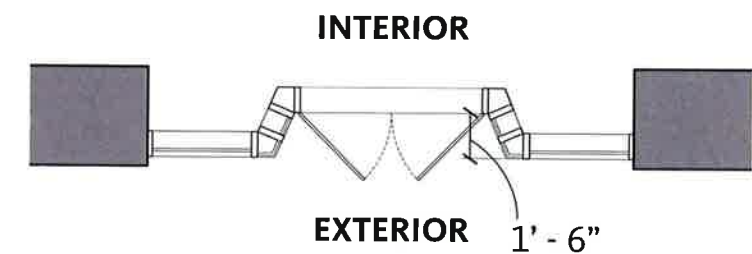
Existing Plan

## Proposed Doors - Typical



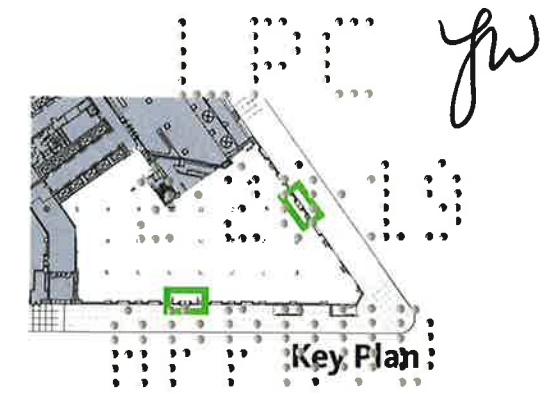
Proposed Elevation

10"



Proposed Plan

# Proposed Scope of Work Entry Doors

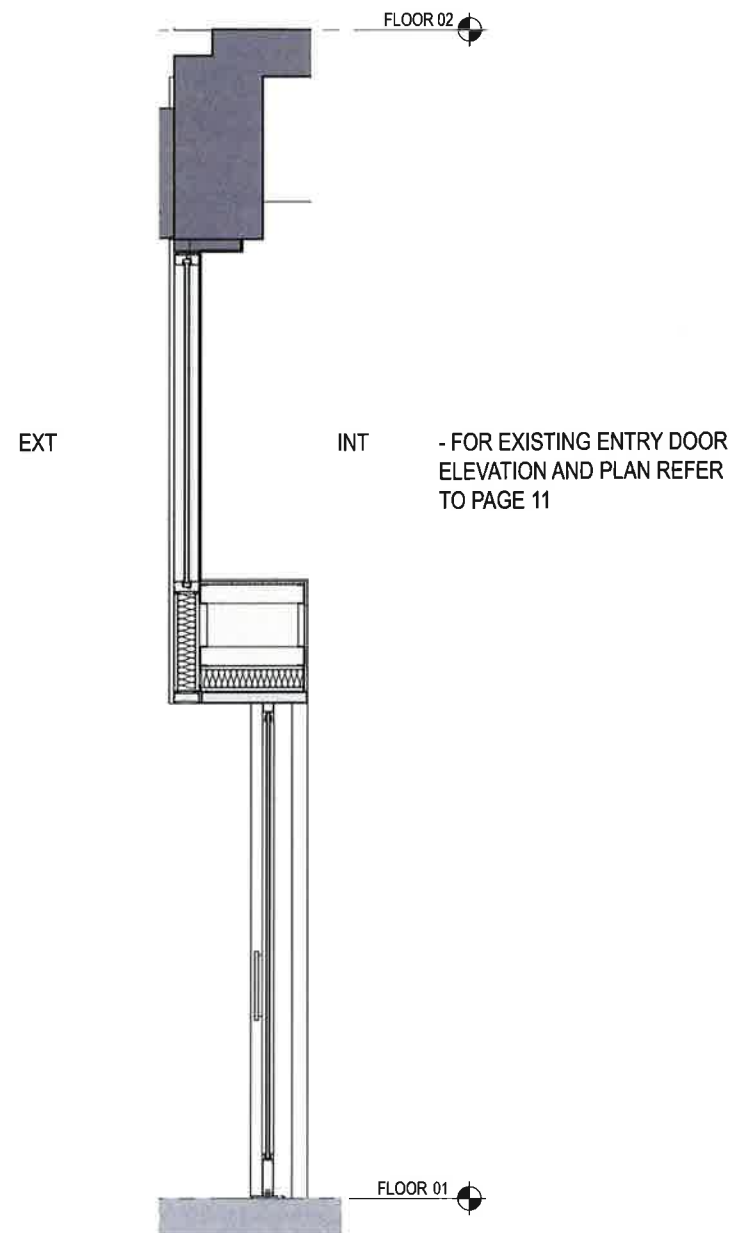


Indicating:

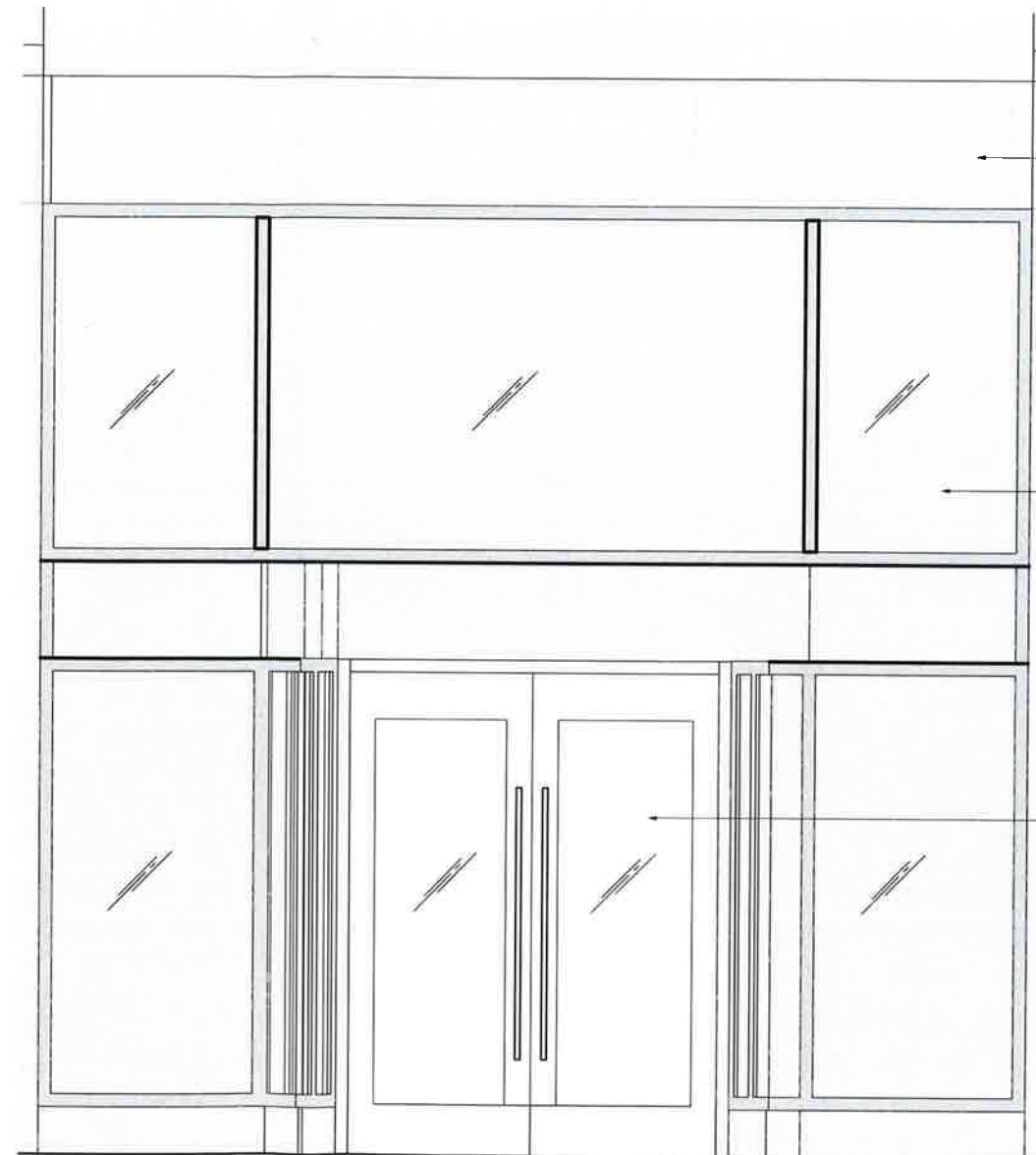
- Proposed Doors Elevation and Section

Key

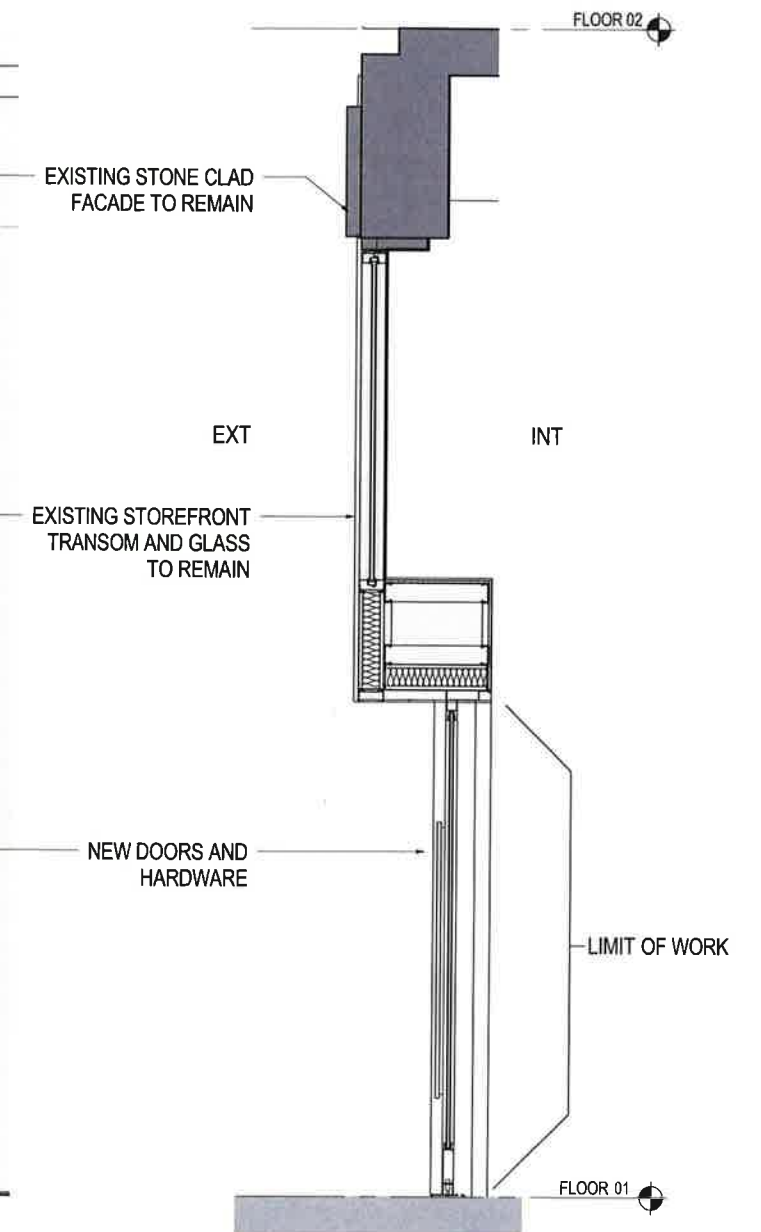
- Not in scope, existing to remain



A - Existing Section at Entry Doors



B - Proposed New Doors Elevation



C - Proposed Wall Section - New Doors



# Proposed Scope of Work Mechanical Louvers

Indicating:

- Existing Mechanical Louvers
- Proposed Mechanical Louvers

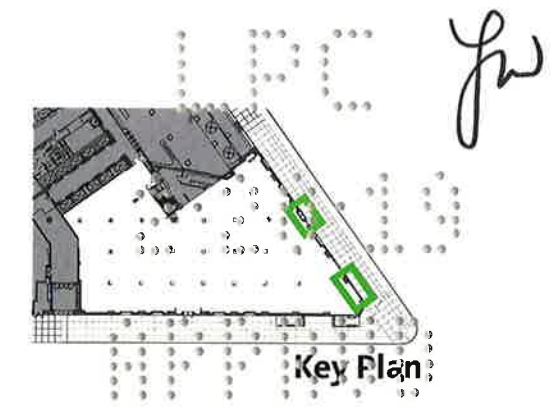
### Existing elevation with existing louvers



### Existing elevation with proposed louvers



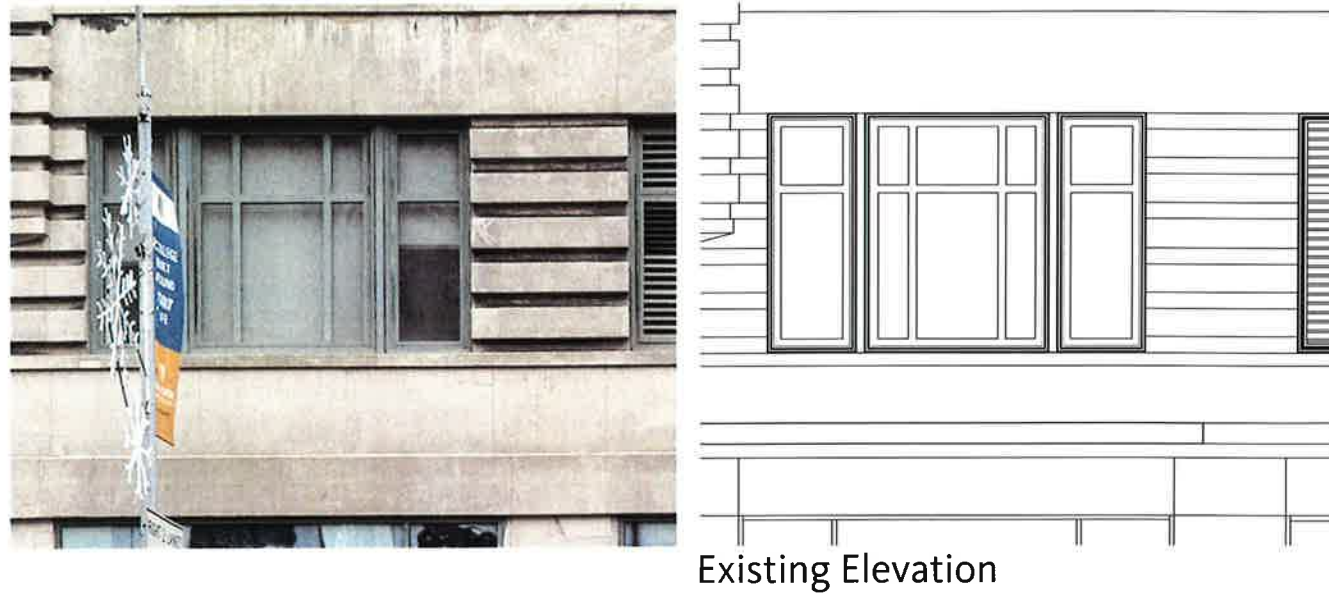
# Proposed Scope of Work Mechanical Louvers



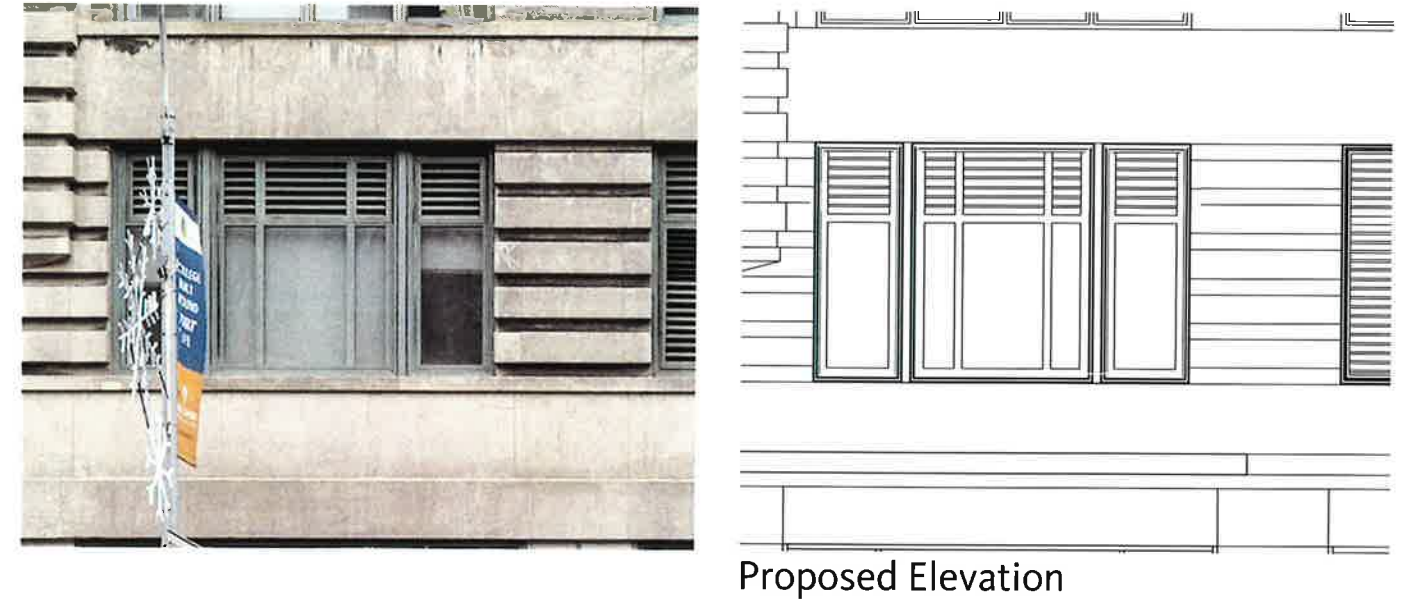
Indicating:

- Existing Conditions
- Proposed Conditions with Louvers

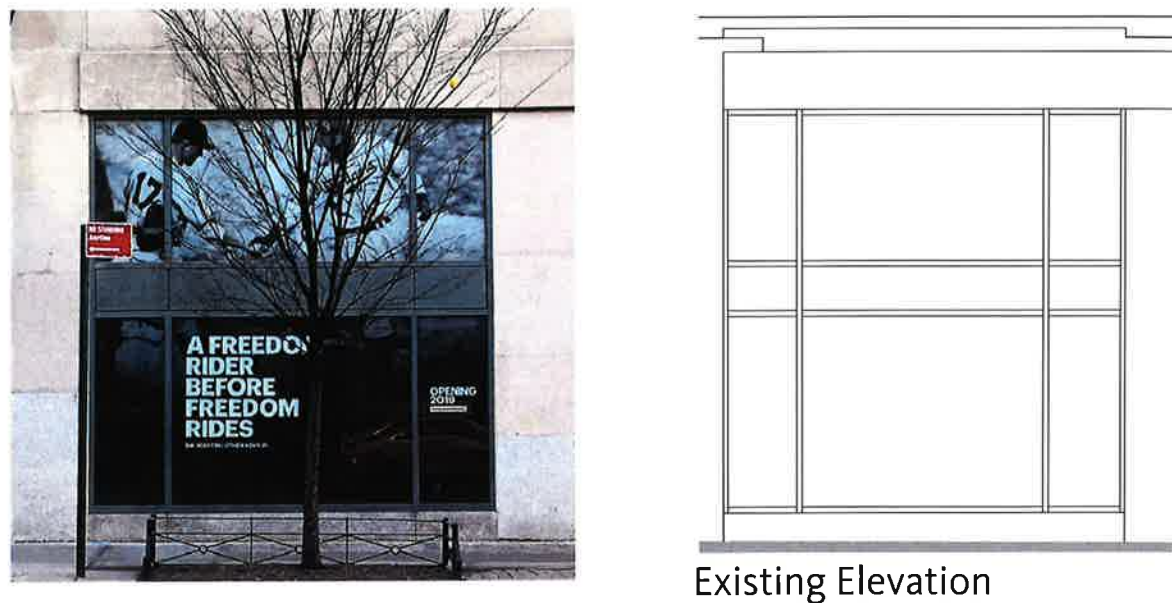
## Existing Condition: Canal Street Second Floor



## Proposed Condition: Canal Street Second Floor



## Existing Condition: Canal Street Ground Floor



## Proposed Condition: Canal Street Ground Floor



# Proposed Scope of Work

Color Sample for Mechanical Louvers (to Match Surrounding Fenestration)

- Physical sample attached to page 15 of hardcopy versions

LPC *Jw*  
2.20.19  
APPENDIX



# Proposed Scope of Work

## Access Actuator for Automatic Doors

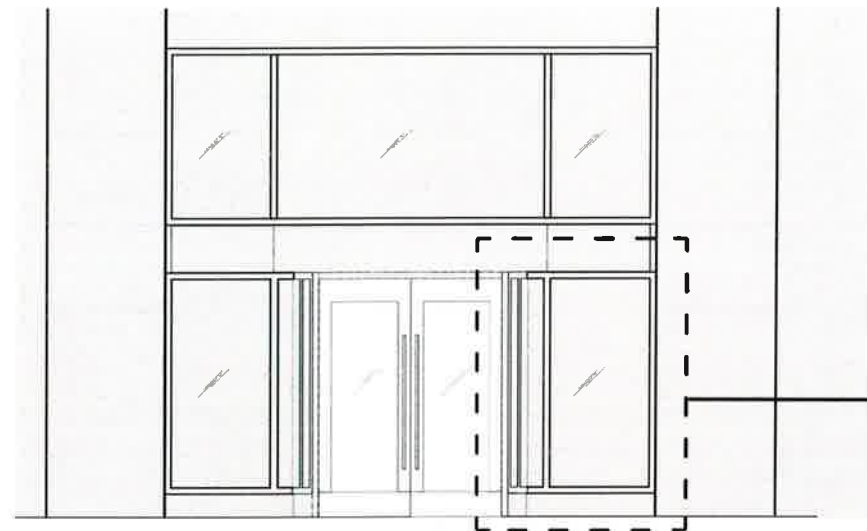
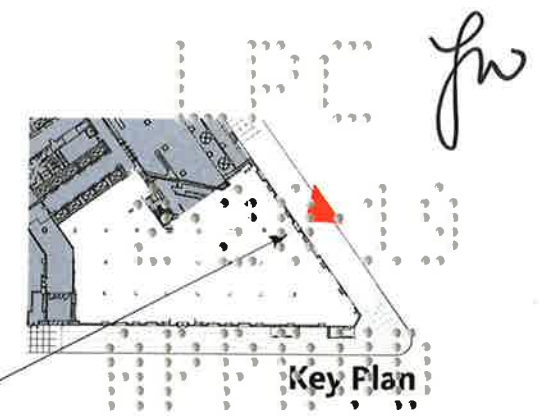
Indicating:

- Location of new door actuator
- Elevation and detail of actuator

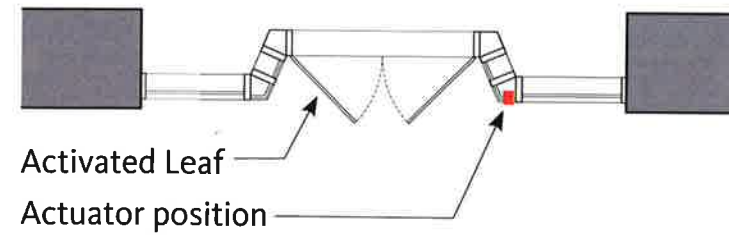
Key

- Not in scope, existing to remain

Proposed location of new door actuator



A - Proposed Elevation



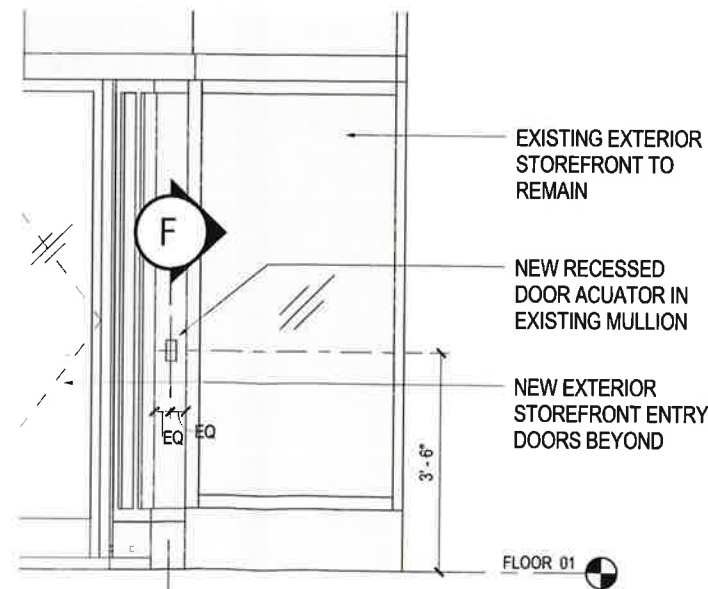
C - Proposed Plan



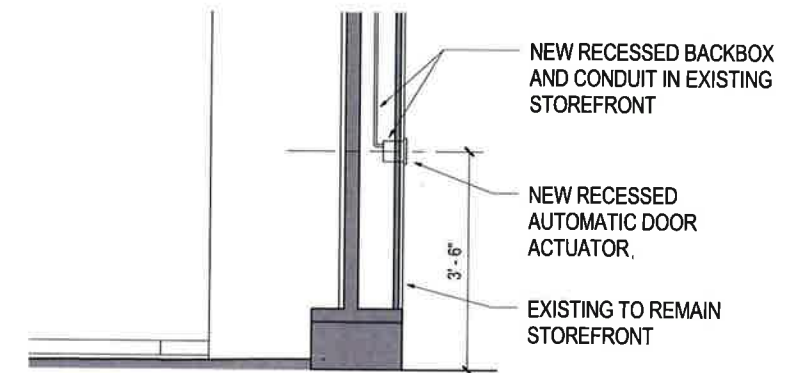
E - Actuator Product Info: WIKK, AA (Narrow all- Active)



B - Proposed Actuator Elevation View



D - Actuator Elevation



F - Proposed Section

# **EXHIBIT B**

# Jackie Robinson Museum

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## Jackie Robinson Foundation

### ISSUE FOR BID - PHASE 2

December 21, 2018

75 Varick Street  
New York, NY 10013

#### **Gensler**

Architect  
1700 Broadway  
Suite 400  
New York NY 10019  
United States  
Phone: 212.492.1400  
Fax: 212.492.1472

#### **Ralph Appelbaum Associates**

Exhibit Design  
88 Pine Street  
New York NY 10005  
United States  
Tel 212.334.8200

#### **M-E Engineers**

MEP & FP Engineer  
29 West 38th Street, 5th Floor  
New York NY 10018  
United States  
Tel 212.447.6770

#### **Silman**

Structural Engineer  
32 Old Slip, 10th Floor  
New York NY 10005  
United States  
Tel 212.620.7970

#### **Gillman Consulting Inc**

Code Consultant / Expeditor  
40 Worth Street, Suite 600  
New York NY 10013  
United States  
Tel 212.349.9304

#### **HDLC**

Lighting Designer  
10 East 38th Street, 5th Floor  
New York NY 10016  
United States  
Tel 212.529.7800

#### **Cerami**

Acoustic/Audio-Visual, Security, & IT  
404 Fifth Avenue  
New York NY 10018  
United States  
Tel 212.370.1776

#### **Van Deusen & Associates**

Vertical Transportation Consultant  
120 Eagle Rock Avenue  
Suite 310  
East Hanover, NJ 07936  
Tel 973.994.9220

# HAZARDOUS MATERIAL NOTES

IN THE EVENT OF HAZARDOUS MATERIAL OR OTHER TOXIC SUBSTANCE EXPOSURE OR THE SUBSTANTIAL RISK THEREOF, CLIENT WILL HAVE THE DUTY TO INFORM ARCHITECT OF SUCH RISKS KNOWN OR REASONABLY KNOWABLE TO CLIENT. IF HAZARDOUS MATERIAL OR ANY OTHER TOXIC SUBSTANCE, OR RISKS TO EXPOSURE THEREOF IS DISCOVERED BY ARCHITECT DURING WORK ON THE PROJECT, ARCHITECT SHALL, IN ITS SOLE DISCRETION, HAVE THE RIGHT TO SUSPEND WORK ON THE PROJECT. CLIENT SHALL HAVE THE DUTY PROMPTLY TO RETAIN A QUALIFIED EXPERT SAFELY TO RENDER OR SUPERVISE THE REMOVAL OF SUCH HAZARDOUS MATERIAL OR OTHER TOXIC SUBSTANCE. CLIENT SHALL INDEMNIFY AND HOLD ARCHITECT, ITS AFFILIATES AND SUB-CONTRACTORS, AND THEIR OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY ON PART OF OR DAMAGE TO SUCH ENTITIES OR PERSONS, INCLUDING THE COST OF LEGAL FEES AND EXPENSES AS SUCH FEES AND EXPENSES ARE INCURRED, WHICH MAY RESULT FROM HAZARDOUS MATERIAL OR OTHER TOXIC SUBSTANCE EXPOSURE ON THE PROJECT.

# ENERGY CODE COMPLIANCE NOTE

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2016 NEW YORK CITY ENERGY CONSERVATION CODE.

# OCCUPANT PROTECTION NOTES

- 1. GENERAL: ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE 2014 NEW YORK CITY BUILDING CODE, CHAPTER 33, AND REGULATION OF ALL OTHER AGENCIES HAVING JURISDICTION.
2. STRUCTURAL CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHEREVER ANY STRUCTURAL WORK IS INVOLVED.
3. MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS.
4. FIRE SAFETY:
a. ALL BUILDING MATERIALS WHICH ARE STORED AT THE SITE OR ANY AREA OF THE BUILDING ARE TO BE STORED IN LOCKED AREA. ACCESS TO THE AREA TO BE CONTROLLED BY THE OWNER, OR GENERAL CONTRACTOR.
b. ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION.
c. ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURERS' CONTAINERS SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT.
d. ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE.
e. ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE ARE EXPOSED CONDUITS.
f. ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS.
g. CONTRACTOR, AT ALL TIMES, TO ENSURE THERE IS NO NATURAL GAS LEAKAGE IN THE BUILDINGS, OR ANY FLAMMABLE GAS TO BE USED DURING CONSTRUCTION.
5. DUST CONTROL
a. DEBRIS, DIRT, AND DUST TO BE KEPT TO MINIMUM AND CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
b. CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM THE OCCUPIED BUILDING AREA BY THE MEANS OF TEMPORARY PARTITIONS OR HEAVY WEIGHT DROP CLOTHS.
c. DEBRIS, DIRT, AND DUST TO BE CLEANED UP AND CLEARED FROM THE BUILDING SITE PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION.
6. NOISE AFTER HOURS
a. CONSTRUCTION OPERATIONS WILL BE CONFINED TO WORKING HOURS SET FORTH BY THE BUILDING RULES AND REGULATIONS (NOTE 80) WITH THE PROPERTY MANAGER AND IN COMPLIANCE WITH NYC NOISE CONTROL CODE.
b. CONTRACTOR MUST OBTAIN WRITTEN PERMISSION FROM ALL AFFECTED PARTIES TO WORK OTHER THAN REGULAR HOURS.
7. CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO OTHER TENANTS. THERE WILL BE NO ONE OCCUPYING THE PREMISES TO BE RENOVATED DURING THE COURSE OF CONSTRUCTION WORK.

# DEPARTMENT OF BUILDING NOTES

- 1. THIS PROJECT IS DESIGNED TO COMPLY WITH THE 1968 NEW YORK CITY BUILDING CODE (NYCBC) WITH EXCEPTIONS AS PERMITTED BY 2014 NYCBC ARTICLE 101. THE 2014 NEW YORK CITY FIRE CODE WITH EXCEPTIONS AS PERMITTED IN FC 102, AND THE REGULATIONS OF THE AGENCIES HAVING JURISDICTION UNLESS OTHERWISE NOTED.
2. AS PER ARTICLE 105, SECTION 28-105.1, IT IS UNLAWFUL TO COMMENCE ANY WORK PRIOR TO ISSUANCE OF A PERMIT BY THE COMMISSIONER.
3. AS PER ARTICLE 116, SECTION 28-116.3.1, CONTRACTOR SHALL NOTIFY THE RELEVANT SPECIAL INSPECTION AGENCY IN WRITING AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK REQUIRING SPECIAL INSPECTION.
4. THIS DRAWING IS FILED TO SHOW TENANT RENOVATIONS. ALL EXISTING AND BASE BUILDING CONSTRUCTION PREVIOUSLY APPROVED UNDER SEPARATE FILINGS.
5. NO CHANGE IN USE, EGRESS OR OCCUPANCY UNDER THIS APPLICATION.
6. ENTIRE FLOOR SHALL BE FULLY SPRINKLERED AND COMPARTMENTAL REQUIREMENTS OF LOCAL LAW 573 DO NOT APPLY.
7. ALL ROOMS AND SPACES SHALL BE VENTILATED IN ACCORDANCE WITH THE NYC MECHANICAL CODE.
8. FIRESTOPPING SHALL BE AS REQUIRED BY NYCBC CHAPTER 5, SECTION 27-345.
9. HUNG CEILING CONSTRUCTION SHALL COMPLY WITH NYCBC CHAPTER 5, SECTION 27-350.
10. EXIT SIGNS AND EXIT LIGHTING SHALL COMPLY WITH NYCBC CHAPTER 6, SECTIONS 27-381 AND 27-383.
11. ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH NYCBC ARTICLE 113, SECTION 28-103.9 AND 28-103.10.
12. ALL INTERIOR FINISHES SHALL COMPLY WITH NYCBC CHAPTER 5, SECTION 27-348.
13. ALL WOOD AND WOOD PRODUCTS TO BE USED ON THIS PROJECT SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH NYCBC CHAPTER 23, SECTION 2303.2. THIS REQUIREMENT SHALL INCLUDE, BUT NOT BE LIMITED TO, CABINETS, WALL PANELS, TELECOMMUNICATIONS BACKS, DOORS, BLOCKING, FLOORING, SHIMMING AND ALL MISCELLANEOUS FRAMING ELEMENTS USED IN OR ATTACHED TO FLOOR, PARTITION AND CEILING CONSTRUCTION.
14. ALL DOORS SHALL BE NON-COMBUSTIBLE.
15. ALL FIRE-RATED DOORS SHALL BE UL LABELED, FIRE-PROOF AND SELF-CLOSING.
16. UNDERCUT OF F.P.S.C. DOORS SHALL BE PER NFPA 80 STANDARDS (3/8" MAX WITH SADDLES AND 3/4" MAX WITHOUT SADDLE).
17. ALL NEW AND RELOCATED DOORS SHALL PROVIDE MINIMUM 2'-8" CLEAR WIDTH WHEN OPEN AND APPROVED DISABLED-ACCESSIBLE HARDWARE.
18. ALL TRIMMED OPENINGS SHALL PROVIDE MINIMUM 2'-8" CLEAR WIDTH.
19. FIVE PERCENT OF NEW WORKSTATION CUBICLES SHALL BE DISABLED-ACCESSIBLE WITH 3'-0" MINIMUM PASSAGE POINT.
20. NEW FLOORING AND FLOOR BASE IN BATHROOMS SHALL BE CERAMIC TILE OR EQUIVALENT.
21. ALL NEW PLUMBING FIXTURES SHALL BE WATER CONSERVATION TYPE IN ACCORDANCE WITH THE NYC PLUMBING CODE.
22. SHAFT CONSTRUCTION SHALL COMPLY WITH NYCBC SECTION 27-344 (a).
23. OPENING PROTECTIVES WITHIN SHAFTS SHALL COMPLY WITH NYCBC SECTION 344 (c).
24. SMOKE VENTING OF SHAFTS SHALL COMPLY WITH NYCBC SECTION 27-344 (e).
25. SHAFT TERMINATIONS SHALL COMPLY WITH NYCBC SECTION 27-344 (e).

# APPLICABLE CODES

Table with 2 columns: Code Type and Code Description. Includes Building Code (1968 NYC Building Code), Plumbing Code (2014 NYC Plumbing Code), Mechanical Code (2014 NYC Mechanical Code), Fuel Gas Code (2014 NYC Fuel Gas Code), Electrical Code (2011 NYC Electrical Code), Fire Code (2014 NYC Fire Code), Accessibility Code (2014 NYC BLDG CODE, I.C.C./ANSI A117.1-2009 ED & 2010 ADA), and Energy Code (2016 NYC Energy Conservation Code).

# PROJECT INFORMATION

Table with 2 columns: Field and Value. Fields include Building Address (75 Varick Street), Tax Block and Tax Lot (Block 226, Lot 1), Building Occupancy Classification (Use Group 6, Occupancy E), Construction Classification (I-C), Fire Protection (Fully Sprinklered), Zoning District (M1-6), Zoning Map (12A), and Landmark Status (L - Landmark).

# SPECIAL & PROGRESS INSPECTIONS

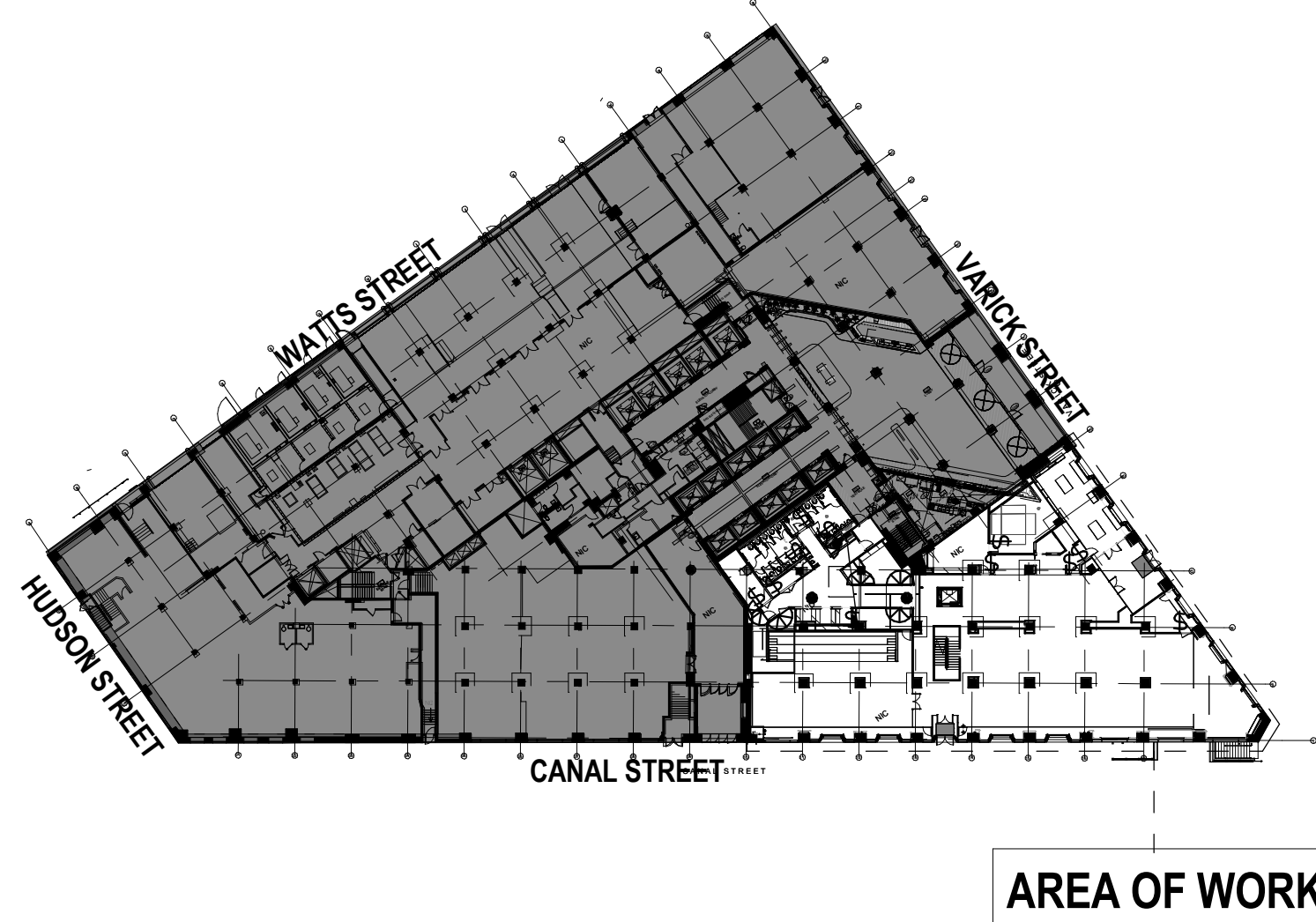
SPECIAL INSPECTIONS IN ACCORDANCE WITH 2014 NYC BUILDING CODE BC 1704 AND PROGRESS INSPECTIONS IN ACCORDANCE WITH 2014 NYC ADMINISTRATION CODE 116 SHALL BE REQUIRED FOR THE FOLLOWING:

- 1. STRUCTURAL STEEL - WELDING BC 1704.3.1
2. STRUCTURAL STEEL - DETAILS BC 1704.3.2
3. CONCRETE - CAST-IN-PLACE BC 1704.4
4. STRUCTURAL STABILITY - EXISTING BUILDINGS BC 1704.20.1
5. POST-INSTALLED ANCHORS BC 1704.32
6. SPRAYED FIRE RESISTANT MATERIALS BC 1704.11
7. MECHANICAL SYSTEMS BC 1704.16
8. SPRINKLER SYSTEMS BC 1704.23
9. FIRE-RESISTANT PENETRATIONS AND JOINTS BC 1704.27
10. ENERGY CODE COMPLIANCE INSPECTIONS BC 110.3.5
11. FIRE RESISTANCE RATED CONSTRUCTION BC 110.3.4
12. FINAL 28-116.2.4.2, BC 110.5, DIRECTIVE 14 OF 1975, AND 1 RCONY §101-10

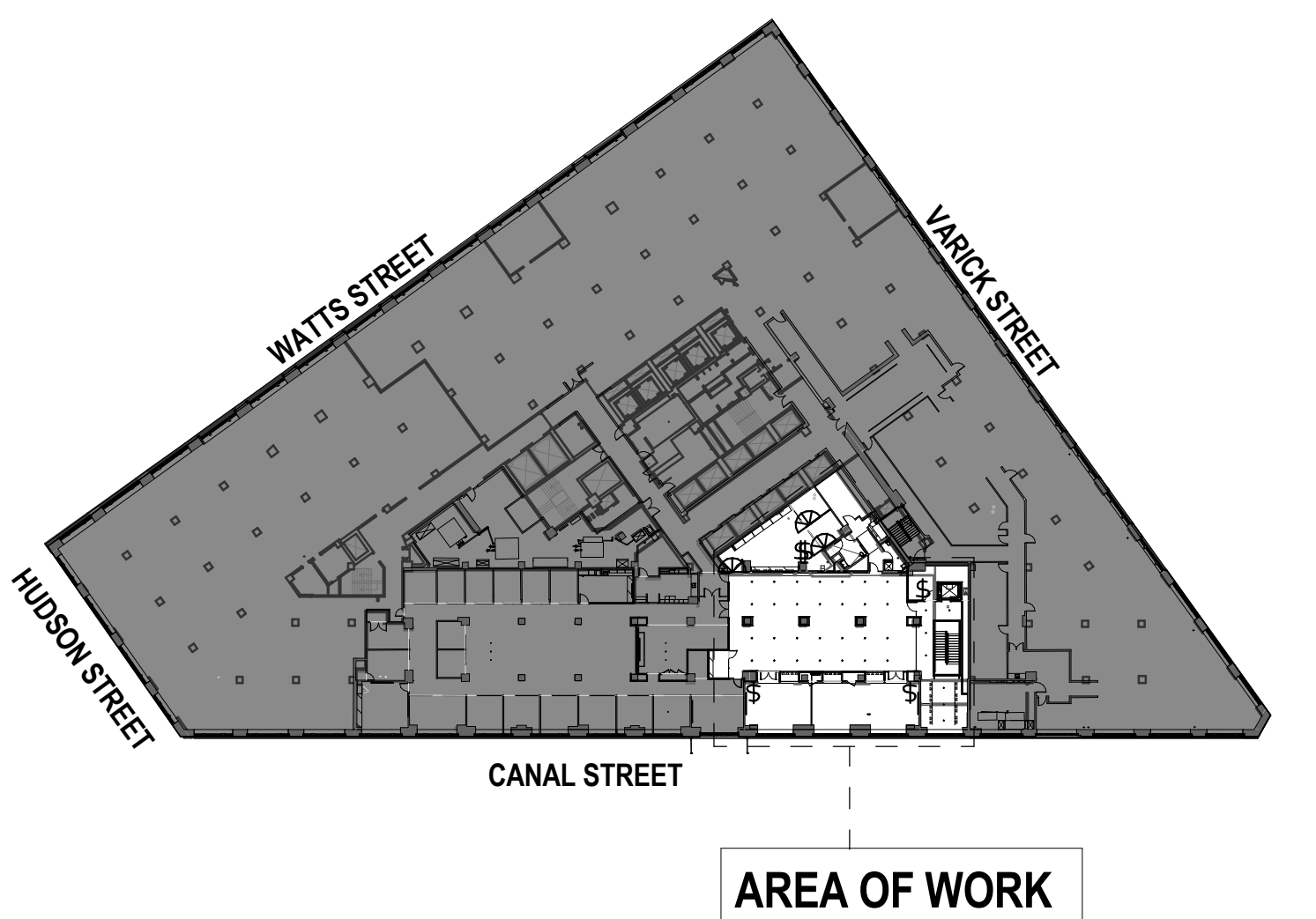
# JOB DESCRIPTION

INSTALLATION OF INTERIOR NON BEARING PARTITIONS AS PER PLANS FILED HEREWITH. THERE IS NO CHANGE IN USE, EGRESS OR OCCUPANCY AS PART OF THIS APPLICATIONS. THE FOLLOWING APPLICATIONS WILL BE FILED SEPARATELY: -ALT. 1 APPLICATION -PLACE OF ASSEMBLY APPLICATION

# KEY PLAN - FLOOR 01



# KEY PLAN - FLOOR 02

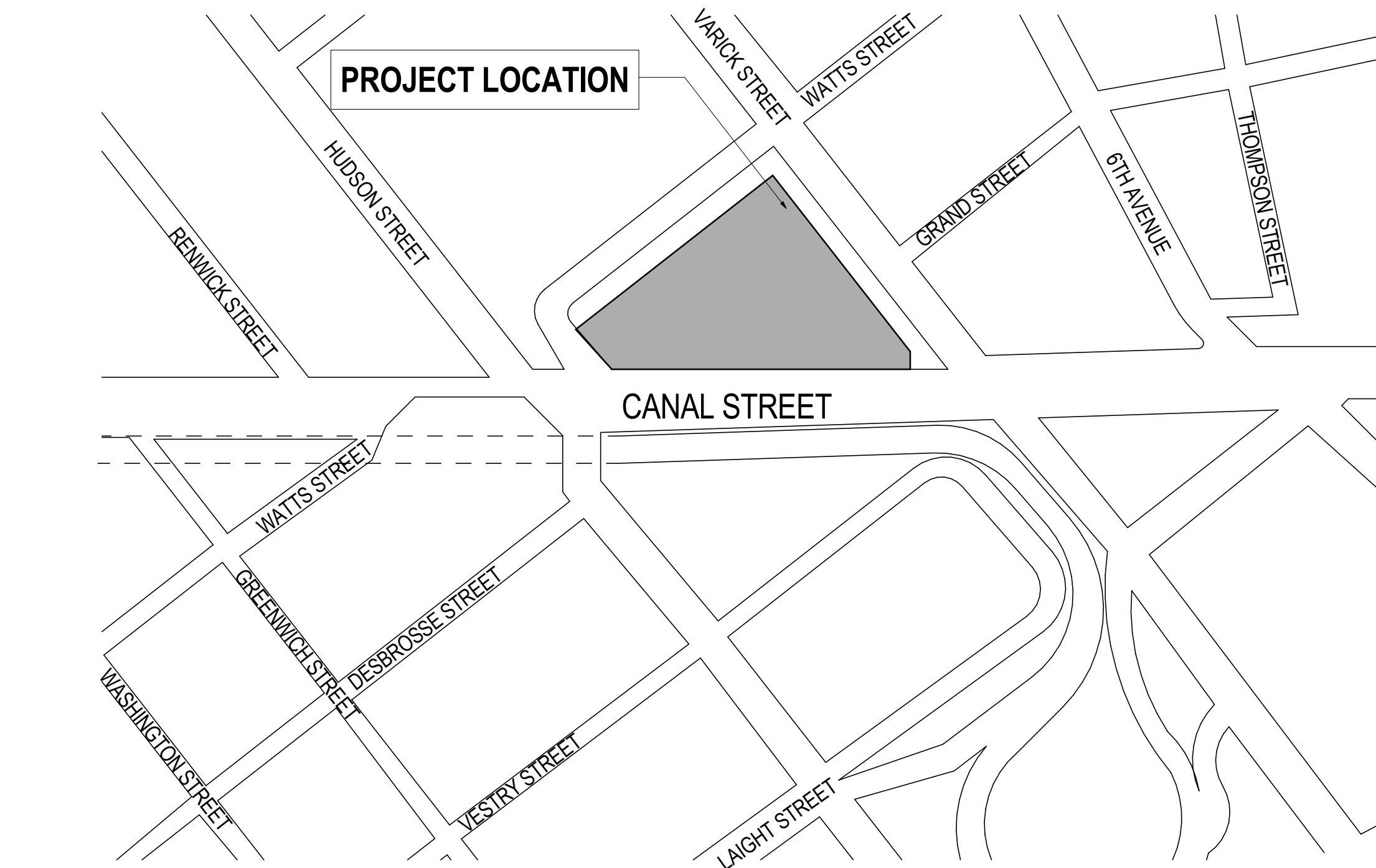


# DRAWING INDEX

Table with columns: SHEET NUMBER, SHEET NAME, COMMENTS. Lists architectural sheets A-000 to A-970 including cover sheet, index, general notes, graphic symbols, partition types, wall details, door schedules, demolition plans, construction plans, power and comm, reflected ceiling plans, furniture plans, exterior enlargements, and various detail drawings.

REFER TO CONSULTANT'S DRAWINGS FOR ADDITIONAL DRAWING INDEXES.

# LOCATION MAP



Jackie Robinson Museum
75 Varick Street
New York, NY 10013

# Gensler

1700 Broadway Suite 400 New York, NY 10019 United States
Tel 212.492.1400 Fax 212.492.1472

Ralph Appelbaum Associates Exhibit Design 85 Pine Street New York, NY 10005 Tel 212.334.8200

M-E Engineers MEP & FP Engineer 23 West 38th Street, 5th Floor New York, NY 10018 Tel 212.447.6770

Silman Structural Engineer 32 Old Slip, 10th Floor New York, NY 10005 Tel 212.620.7970

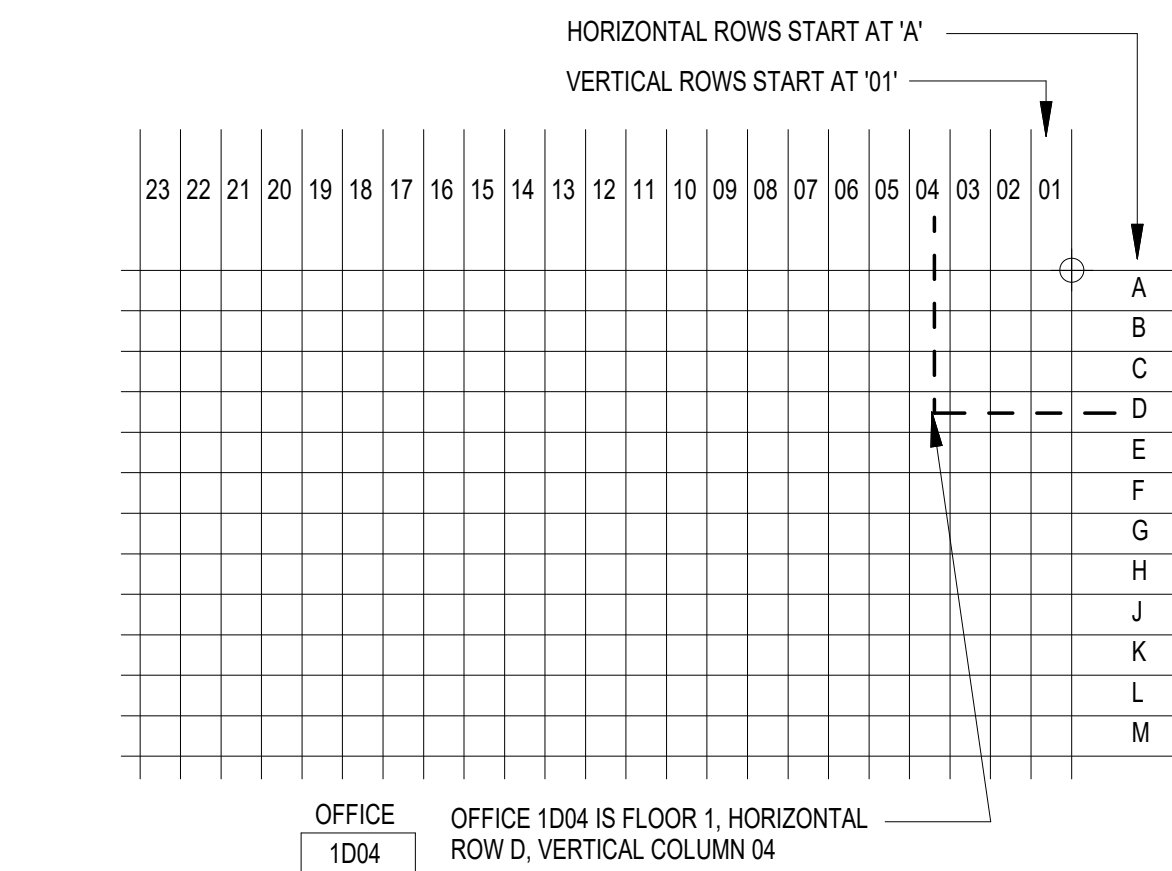
Gillman Consulting Inc Code Consultant / Expeditor 40 Worth Street, Suite 600 New York, NY 10013 Tel 212.343.9304

HDL Lighting Designer 10 East 38th Street, 5th Floor New York, NY 10016 Tel 212.529.7800

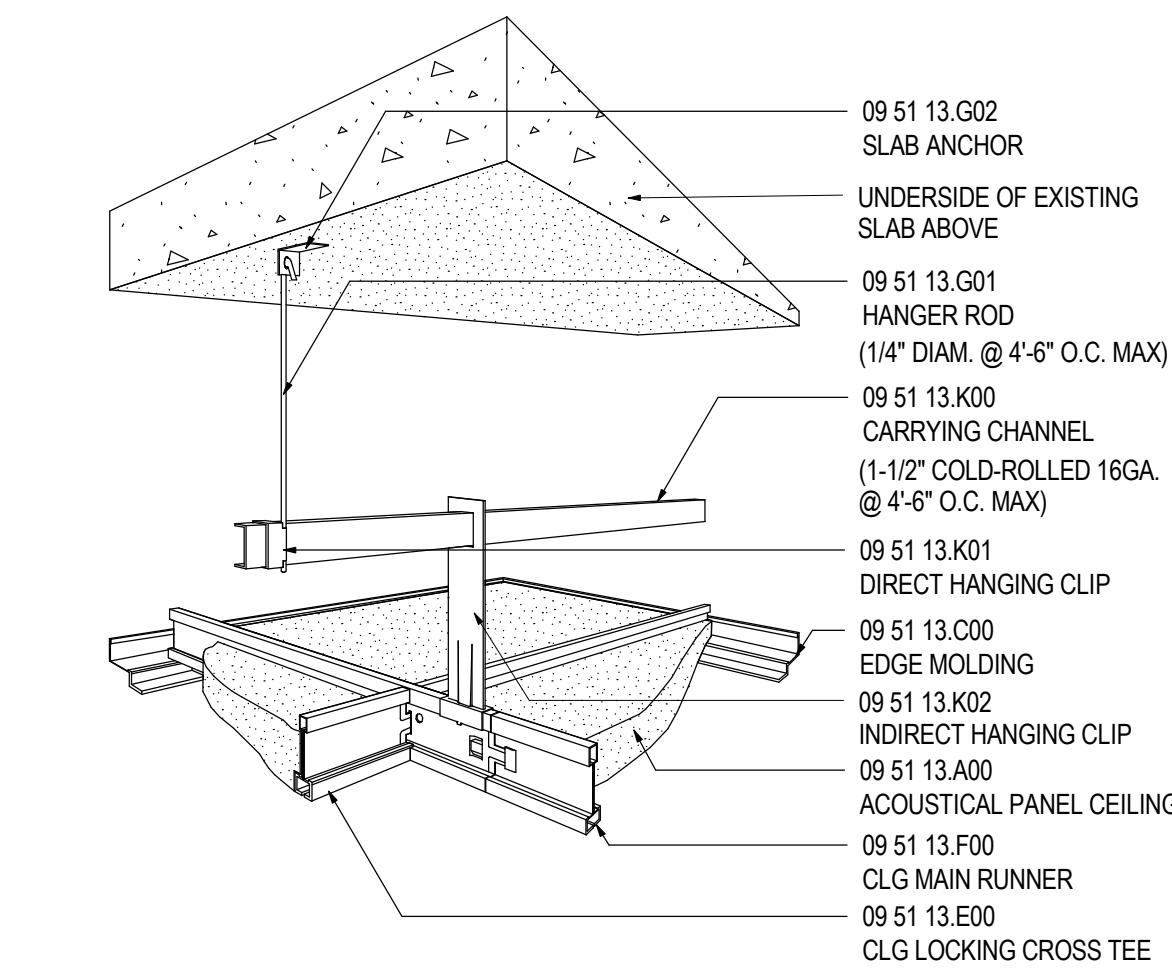
Cerami Acoustic, AV, IT & Security Consultant 404 Fifth Avenue New York, NY 10018 Tel 212.370.1776

Van Deusen & Associates Vertical Transportation Consultant 120 Eagle Rock Avenue Suite 310 East Hanover, NJ 07936 Tel 973.994.9220

# ROOM NUMBERING SYSTEM



# TYP SUSPENDED CEILING DETAIL



AS PER NYC 1968 BUILDING CODE REFERENCE STANDARD RS 5-16 AND FIGURE 3-C

NOT FOR CONSTRUCTION

Project Name: Jackie Robinson Foundation
Project Number: 06.6256.015
Description: INDEX

Scale: As indicated

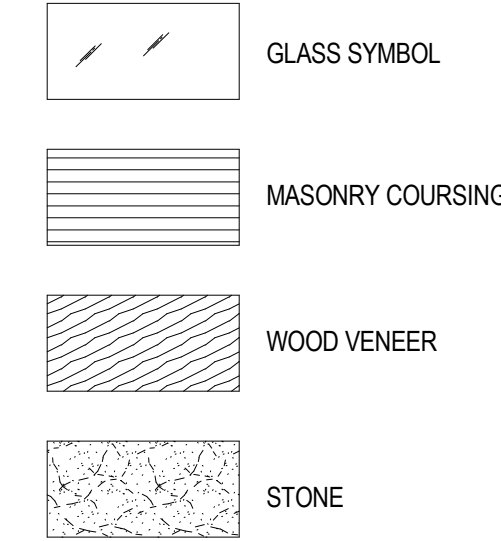
A-001



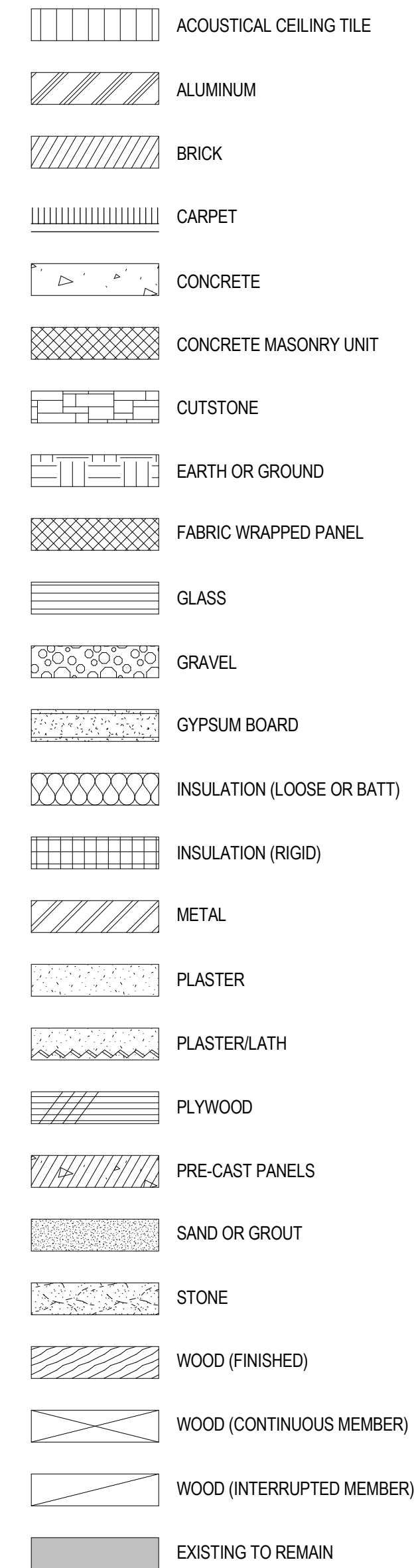


## GRAPHICS SYMBOLS (CONT.)

### ELEVATION INDICATIONS

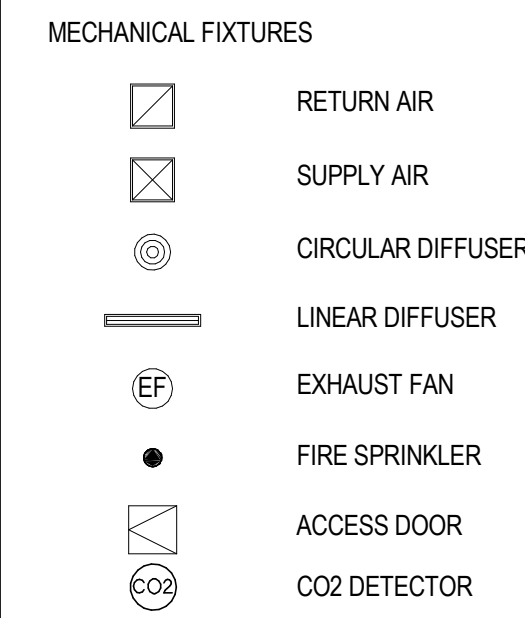
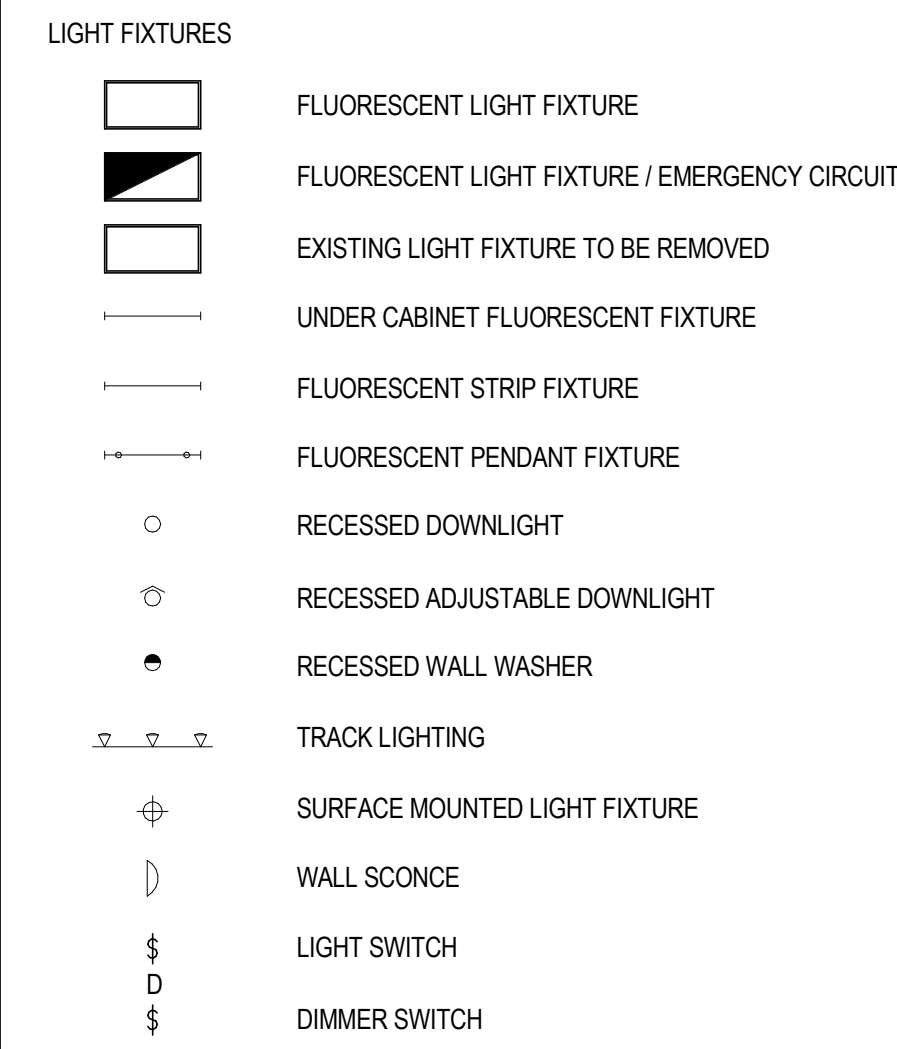
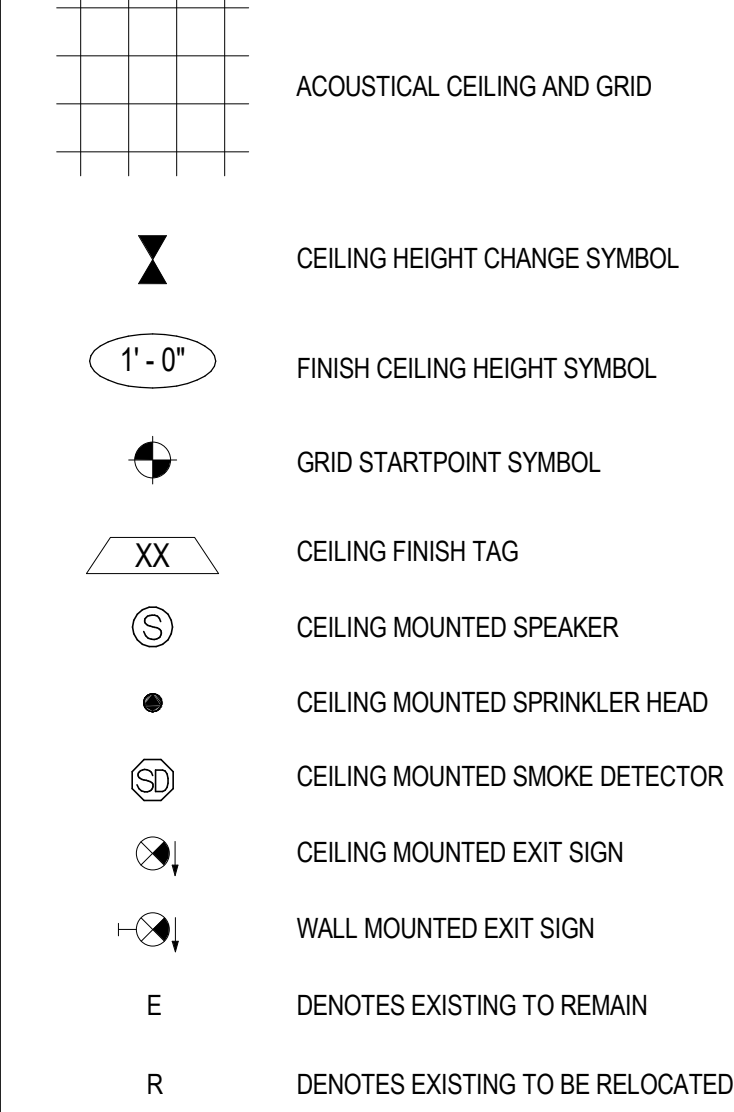


### SECTION INDICATIONS



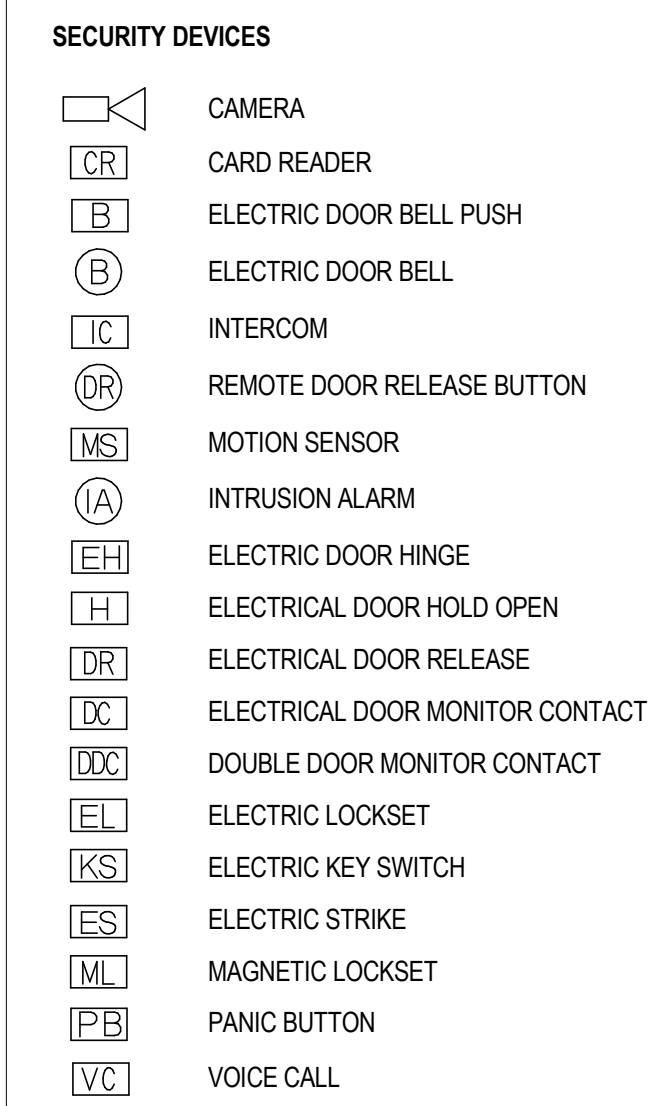
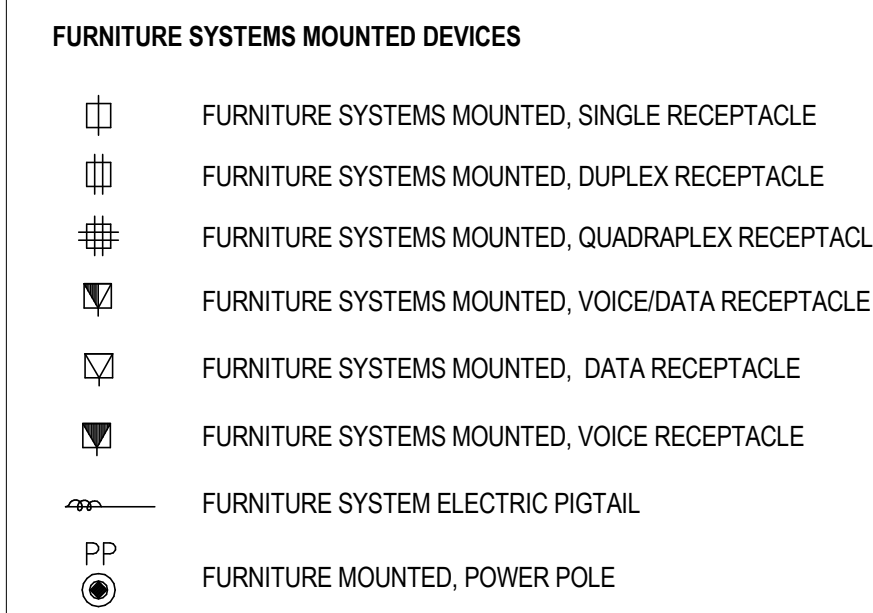
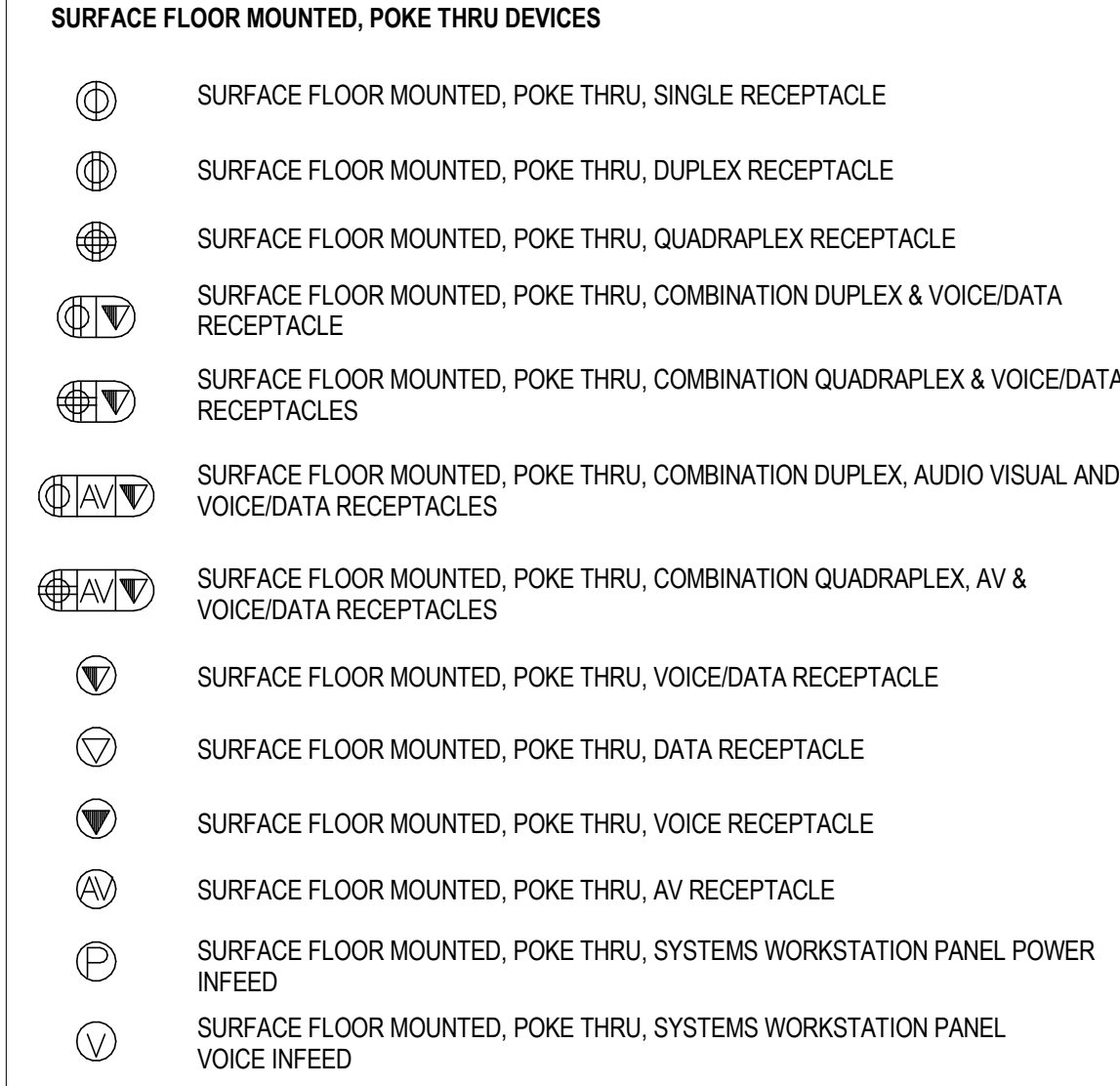
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### REFLECTED CEILING



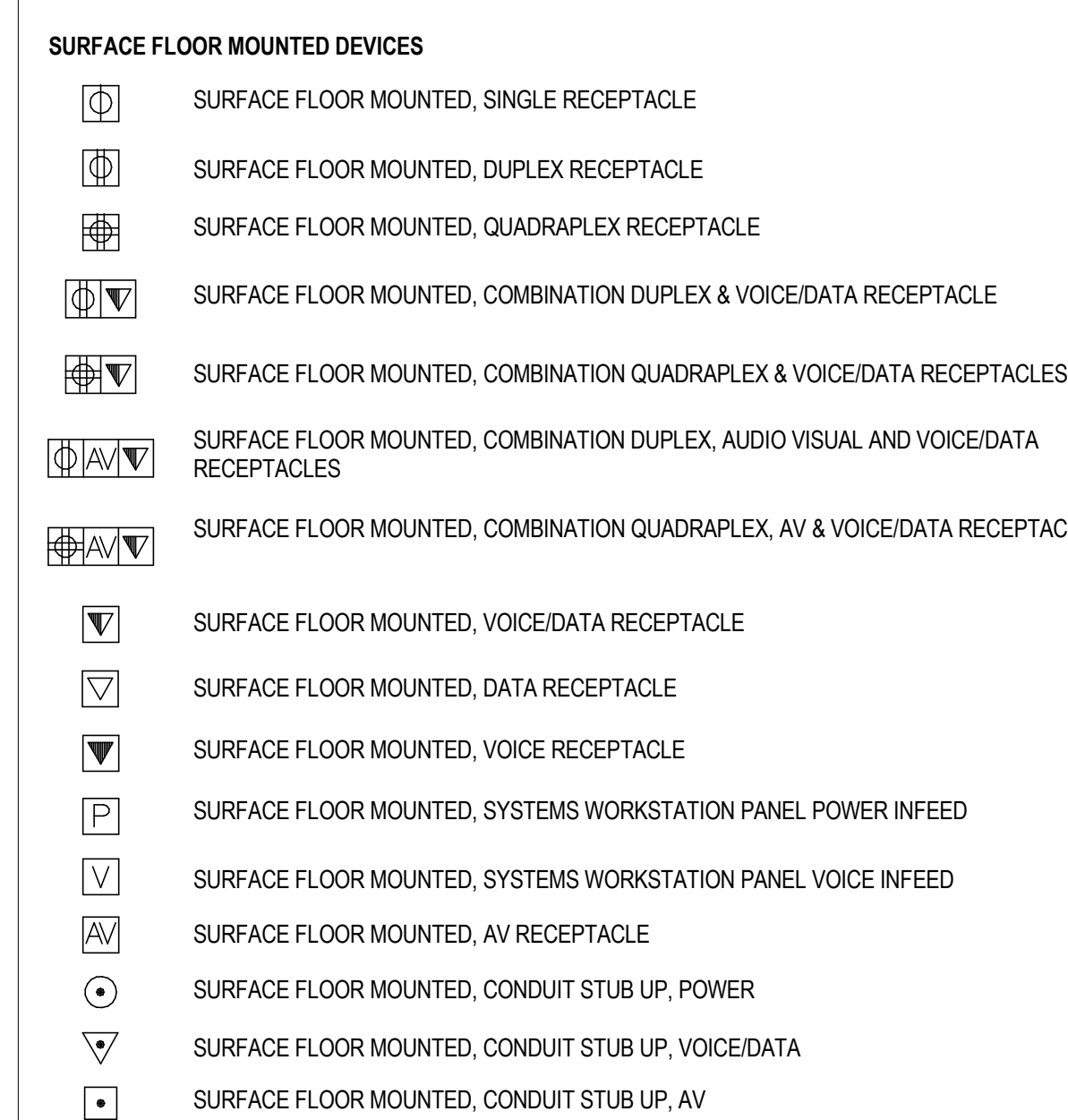
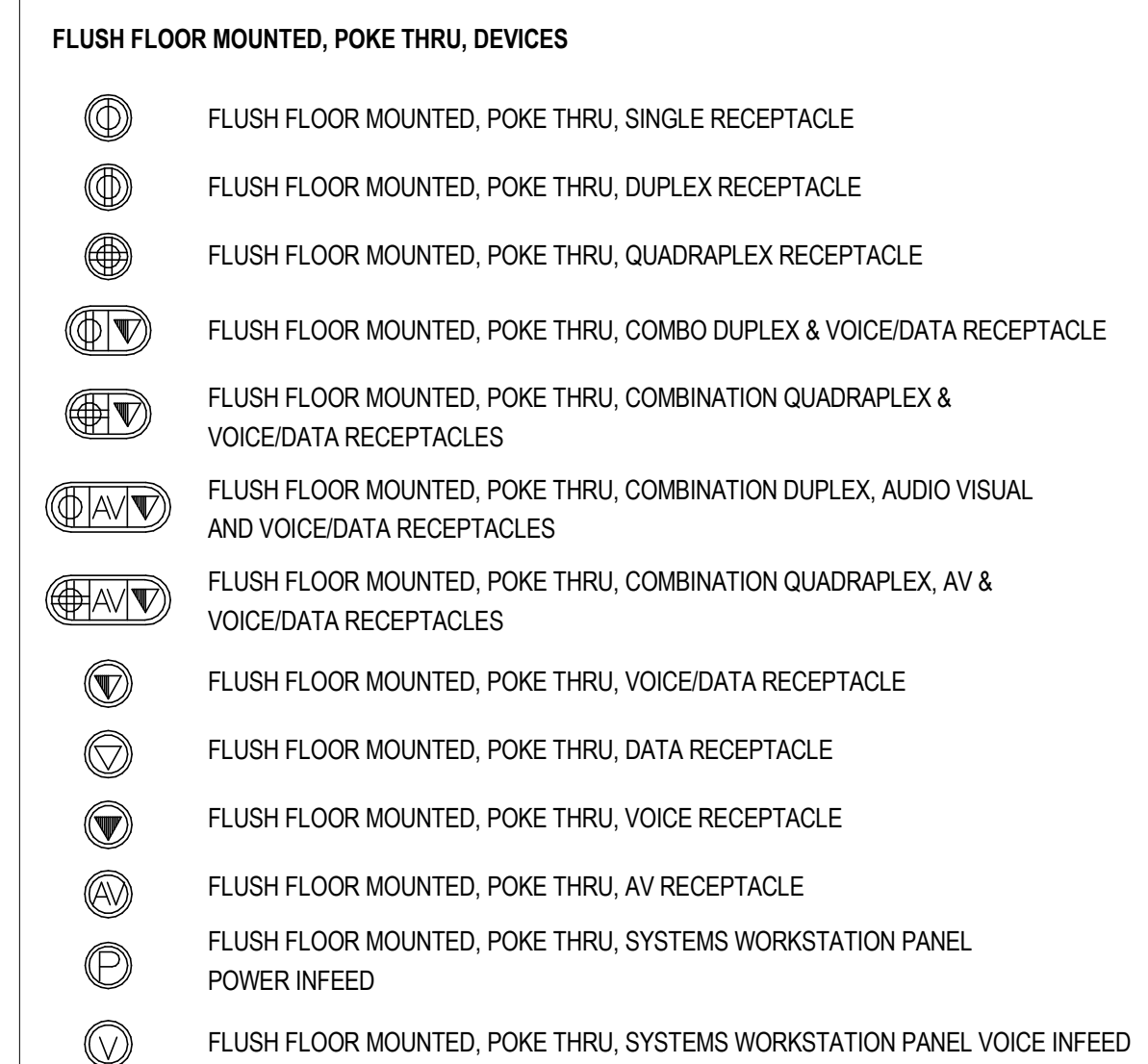
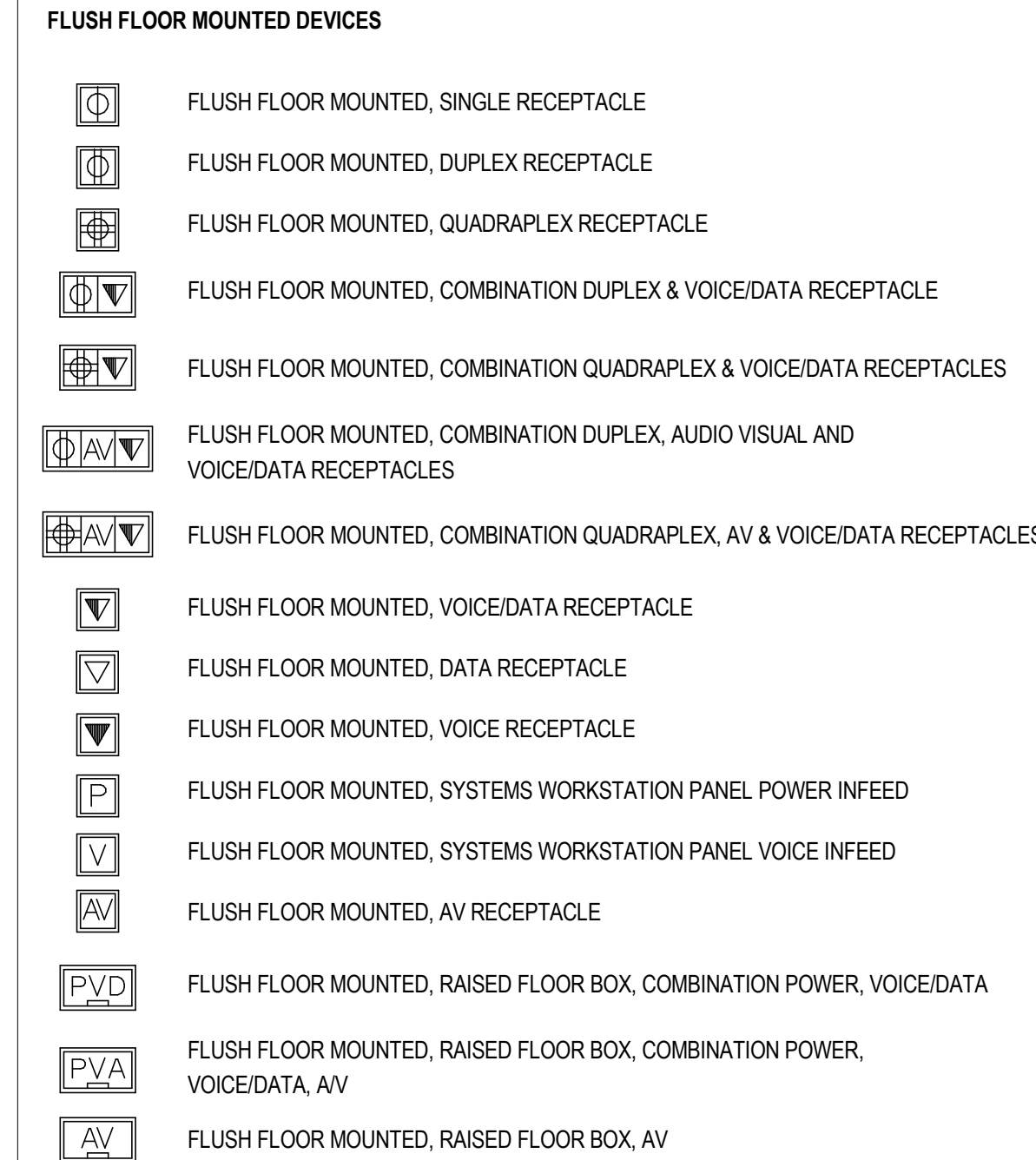
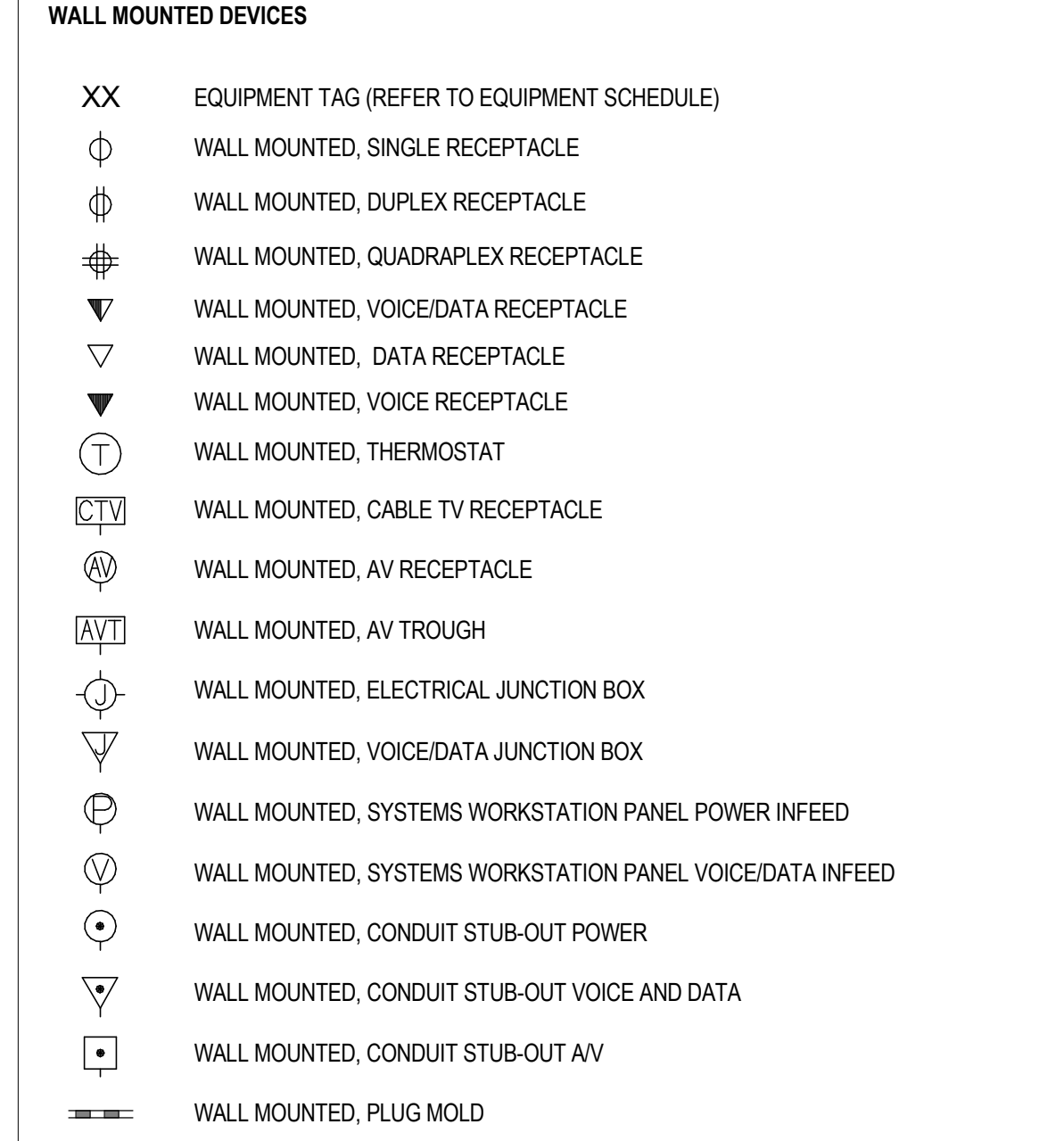
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### POWER AND COMMUNICATION, CONT



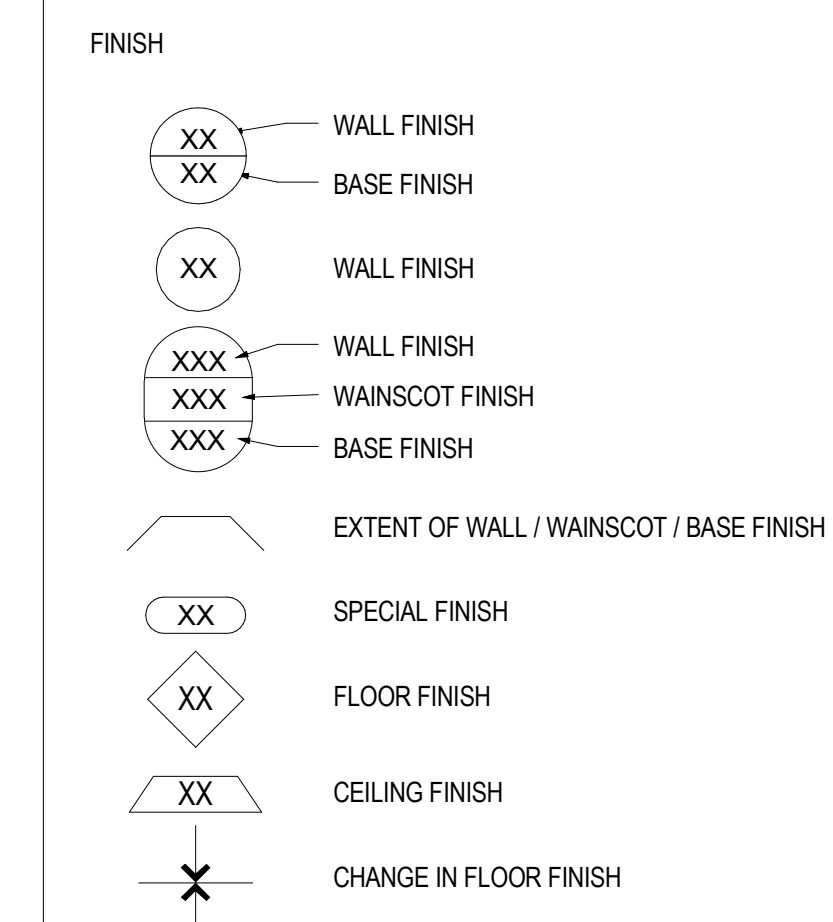
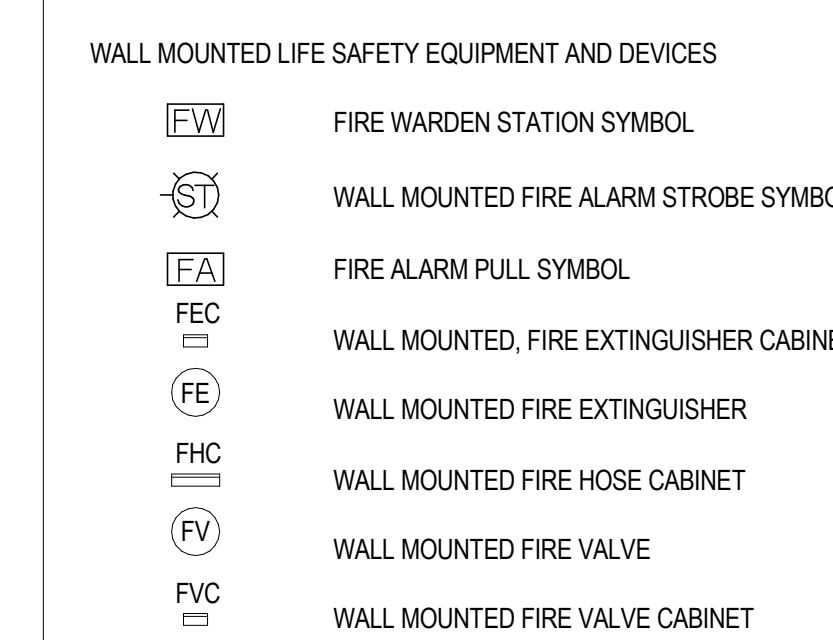
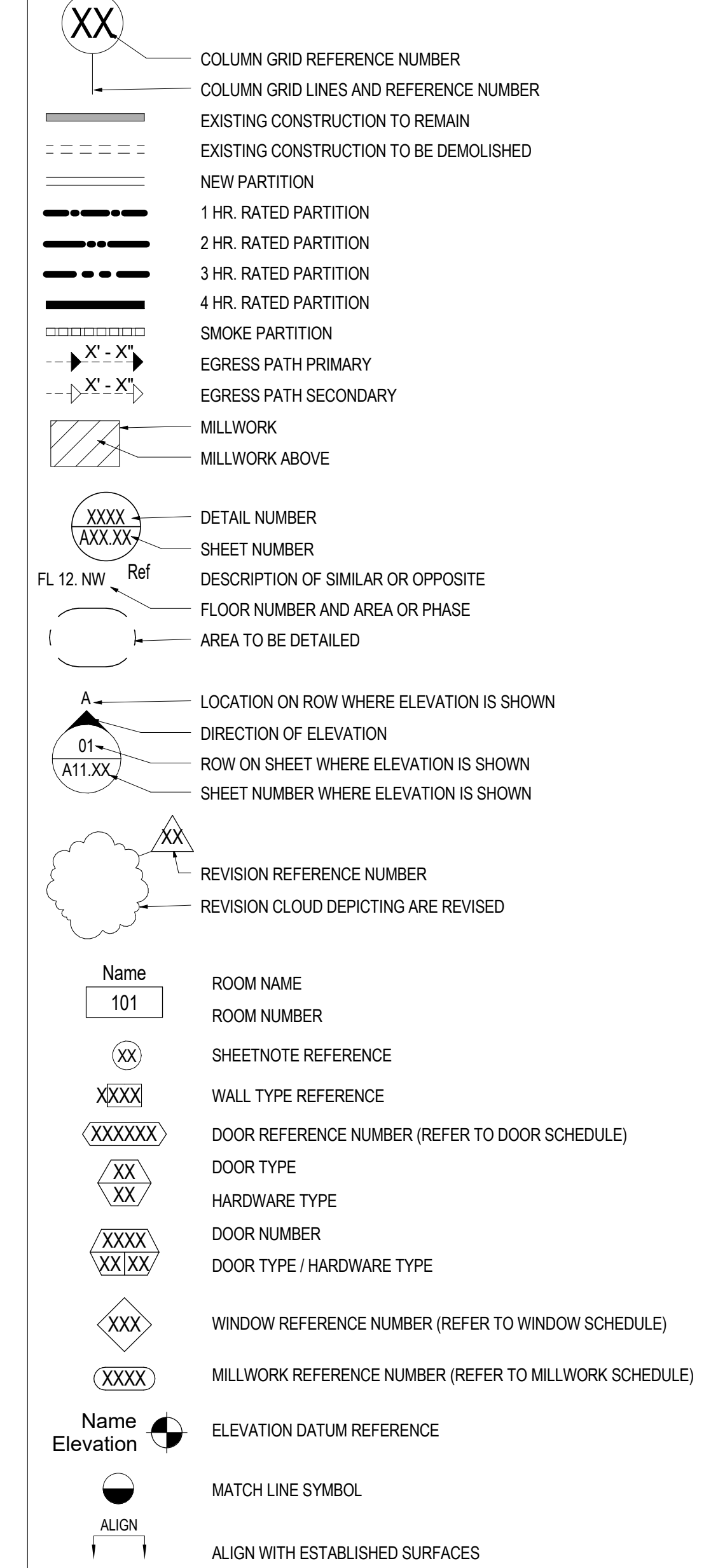
## GRAPHICS SYMBOLS (CONT.)

### POWER AND COMMUNICATION



## GRAPHICS SYMBOLS

### CONSTRUCTION



## Jackie Robinson Museum

75 Varick Street  
New York, NY 10013

## Gensler

1700 Broadway  
Suite 400  
New York, NY 10019  
United States  
Tel: 212.492.1400  
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Structural Engineer  
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Tel: 212.370.1776

Van Deusen & Associates  
Vertical Transportation Consultant  
120 Eagle Rock Avenue  
Suite 310  
East Hanover, NJ 07936  
Tel: 973.994.9220

Date	Description
05/07/2018	SD FOR PRICING
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2

Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

Description  
**GRAPHIC SYMBOLS**

Scale  
**NOT TO SCALE**

**A-003**

# Jackie Robinson Museum

75 Varick Street  
New York, NY 10013

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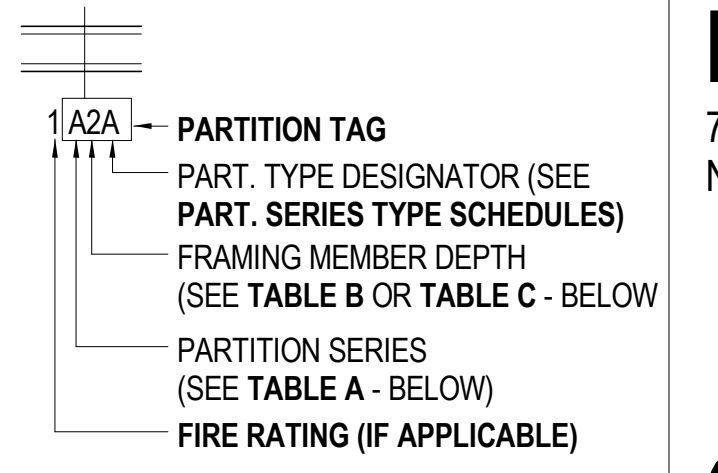
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### PARTITION LEGEND



**TABLE A - PART SERIES CONSTR ASSEMBLY**

SERIES	SHEATHING	STRUCTURE	SHEATHING
A	1-LYR	MTL C-STUD	1-LYR
B	2-LYRS	MTL C-STUD	2-LYRS
C	1-LYR	MTL C-STUD	2-LYRS
D	1-LYR	MTL C-STUD	NONE
E	2-LYRS	MTL C-STUD	NONE
F	1-LYR	MTL HAT CHNL	NONE
G	1-LYR	NONE	NONE
H	1-LYR	MTL C-H STUD	LINER PNL
J	2-LYRS	MTL C-H STUD	LINER PNL
K	1-LYR	(2) MTL C-STUDS	1-LYR
L	2-LYRS	(2) MTL C-STUDS	2-LYRS
M	NONE	CMU	NONE
N-U	RESERVED FOR FUTURE EXPANSION		
V-Z	CUSTOM	N/A	N/A

**TABLE B - FRAMING DEPTH SCHEDULE**

TAG #	MTL STUD DEPTH	MTL C-H STUD DEPTH	WD STUD DEPTH
-	NO FRAMING		
0	7/8" FURRING CHANNEL	N/A	N/A
1	1 5/8"	N/A	N/A
2	2 1/2"	2 1/2"	N/A
3	3 5/8"	N/A	N/A
4	4"	4"	3 1/2"
6	6"	6"	5 1/2"
8	8"	N/A	7 1/4"
10	10"	N/A	9 1/4"

**TABLE C - MASONRY WIDTH SCHEDULE**

TAG #	CMU WIDTH
4	3 5/8"
6	5 5/8"
8	7 5/8"
10	9 5/8"
12	11 5/8"

**STL SHEET THICKNESS FOR STUDS & RUNNERS**

GAGE" MIN. STL BASE MTL THICK UNCOATED)

	INCH	MILS	MM
12	0.1017	97	X
14	0.0713	68	X
16	0.0566	54	1.34
18	0.0451	43	1.09
20	0.0312	30	0.84
22	0.0270	27	0.68
25	0.0179	18	0.45

\*GAGE 16, 18 USED FOR STRUCTURAL FRAMING; 20, 22, AND 25 USED FOR NON-STRUCTURAL FRAMING

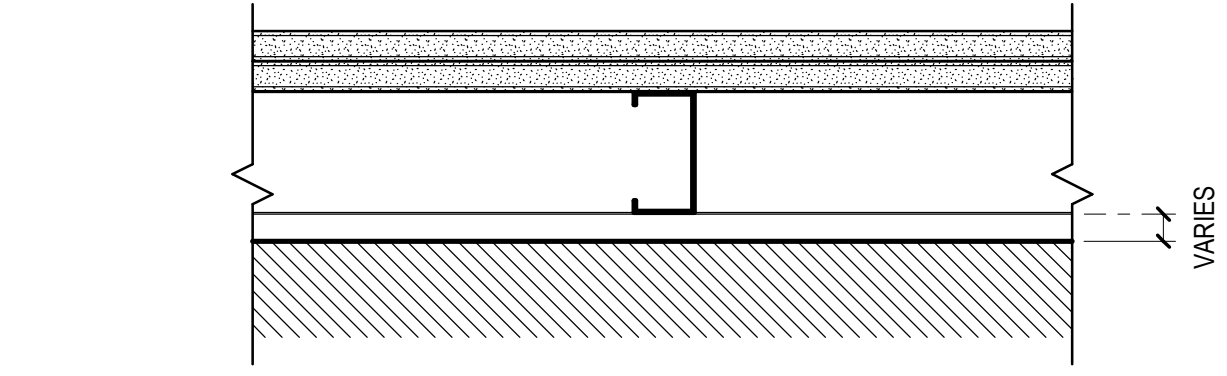
\*USE OF DIMPLED STEEL STUDS ACCEPTABLE PROVIDED CONTRACTOR SUPPLIES DOCUMENTATION PROVING THE EQUIVALENT MINIMUM BASE METAL THICKNESS IS ACHIEVED

#### GENERAL NOTES

- GN-01.** PART. TYPES ARE NOT SEQUENTIAL.
- GN-02.** ALL PTN SHEATHING TO BE 5/8" GYP BD UNO.
- GN-03.** REFER TO A-030 SERIES FOR TOP OF PTN AND A-040 SERIES FOR BTM OF PTN CONDITIONS LISTED IN PTN SCHEDULE.
- GN-04.** ALL PARTITIONS SHALL BE COORD. WITH SCHEDULED FINISHES FOR PART. LAYOUT AND REOD CLEARANCES.
- GN-05.** PROVIDE BLOCKING IN PARTITIONS FOR ARTWORK HANGING AS INDICATED. SEE CONSTRUCTION PLAN(S) AND/OR INTERIOR ELEVATIONS FOR LOCATIONS.
- GN-06.** FOR INT. FRAMING LIMITING HEIGHTS REFER TO SSMA TABLES FOR INTERIOR NON-STRUCTURAL NON-COMPOSITE PARTITIONS
- GN-07.** CONTRACTOR TO RE-CONFIRM STUD SIZING AND SUBMIT SELECTION CRITERIA FOR REVIEW INCLUDING DELINEATION OF SLAB TO UNDERSIDE OF SLAB INFORMATION
- GN-08.** FOR INTERIOR FRAMING LIMITING HEIGHTS REFER TO SSMA TABLES FOR INTERIOR NONSTRUCTURAL NON-COMPOSITE PARTITIONS
- GN-09.** CONTRACTOR TO RE-CONFIRM STUD SIZING AND SUBMIT SELECTION CRITERIA FOR REVIEW INCLUDING DELINEATION OF SLAB TO UNDERSIDE OF SLAB INFORMATION
- GN-10.** PROVIDE PARTITION BRACING AT ALL PARTITION ASSEMBLIES PER MANUFACTURER'S RECOMMENDATIONS

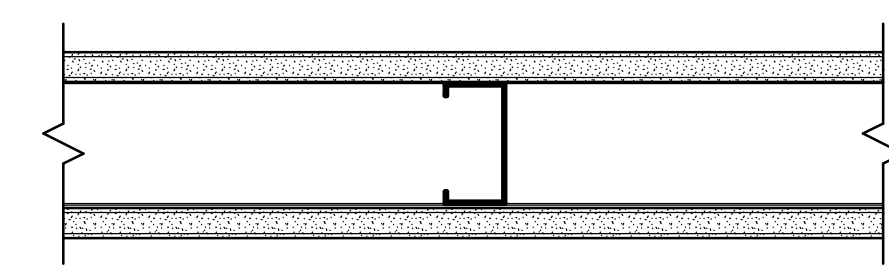
#### SHEET NOTES

- 01 PROVIDE BRACING AT 48" O.C.



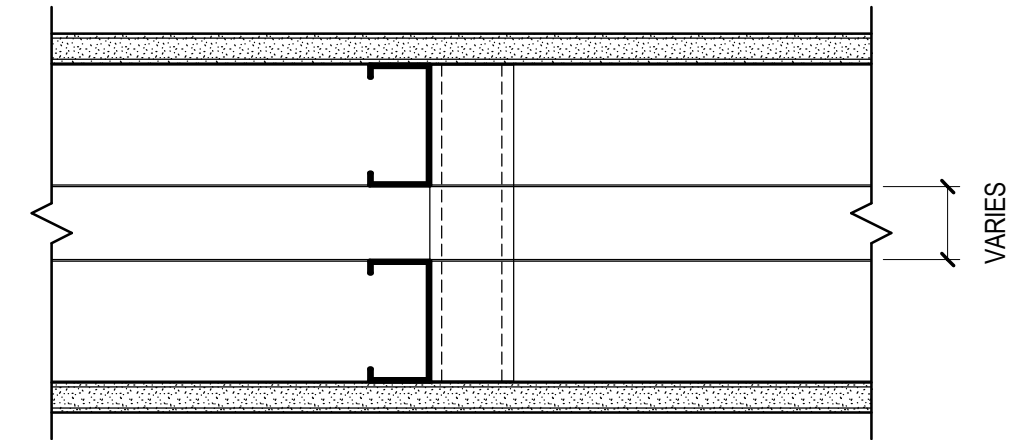
PARTITION TYPE MARK	FRAMING			DETAILS		ATTN THK	FIRE RTG	TESTED ASSEMBLY	STC RTG	SHEET NOTES
	THK (IN)	DEPTH	SPACING	TOP	BOT					
E2		2 1/2"								
E3A	0.0270	3 5/8"	12" O.C.	E T04	E B08					
E3B	0.0451	3 5/8"	12" O.C.	E T06	E B08					
E3C	0.0451	3 5/8"	12" O.C.	E T04	E B01				1	

### E TYPE



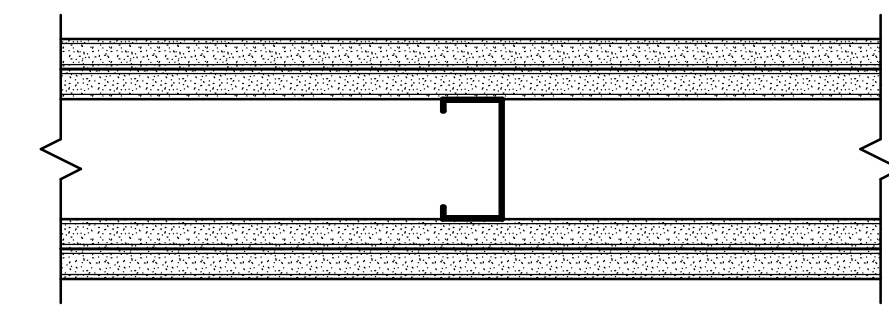
PARTITION TYPE MARK	FRAMING			DETAILS		ATTN THK	FIRE RTG	TESTED ASSEMBLY	STC RTG	SHEET NOTES
	THK (IN)	DEPTH	SPACING	TOP	BOT					
A3A	0.0451	3 5/8"	12" O.C.	A T04	A B01					
A3B	0.0451	3 5/8"	12" O.C.	A T06	A B01					
A3C	0.0179	3 5/8"	12" O.C.	A T04	A B01					
A3D	0.0179	3 5/8"	12" O.C.	A T06	A B01					
A3X	0.0179	3 5/8"	12" O.C.	A T05	A B02		1			
A6A	0.0312	6"	16" O.C.	A T04	A B01					
A6B	0.0312	6"	12" O.C.	A T06	A B01					

### A TYPE



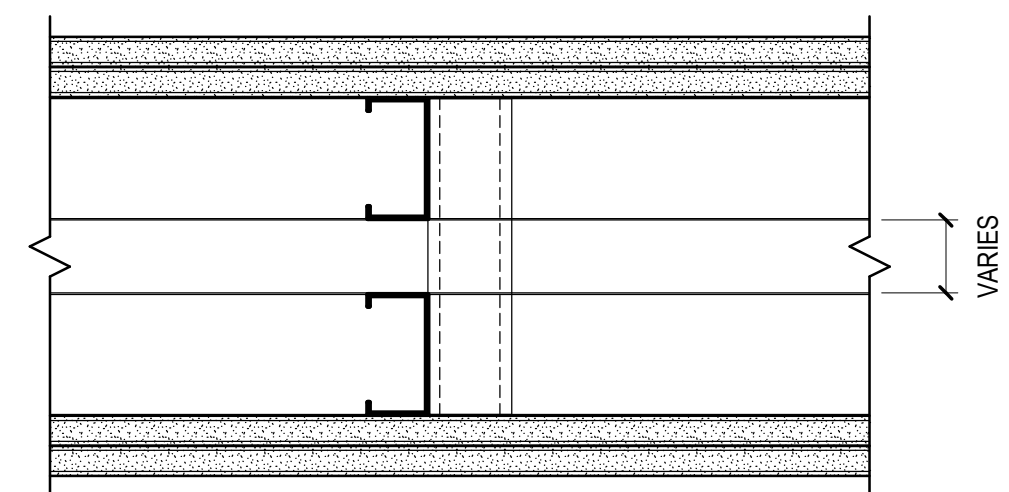
PARTITION TYPE MARK	FRAMING			DETAILS		ATTN THK	FIRE RTG	TESTED ASSEMBLY	STC RTG	SHEET NOTES
	THK (IN)	DEPTH	SPACING	TOP	BOT					
K3A	0.0451	3 5/8"	12" O.C.	K T06	K B01					1

### K TYPE



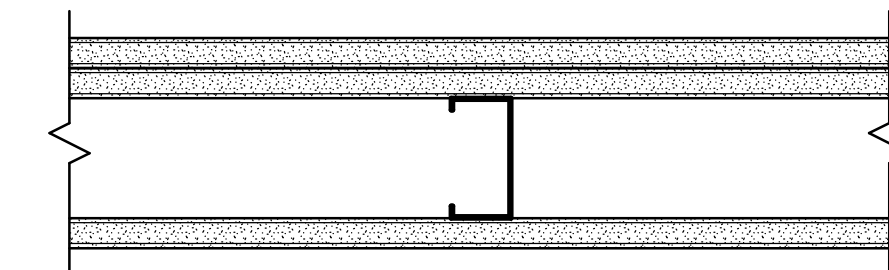
PARTITION TYPE MARK	FRAMING			DETAILS		ATTN THK	FIRE RTG	TESTED ASSEMBLY	STC RTG	SHEET NOTES
	THK (IN)	DEPTH	SPACING	TOP	BOT					
B3A	0.0451	3 5/8"	12" O.C.	B T04	B B01					
B3B	0.0451	3 5/8"	12" O.C.	B T04	B B08					
B3X	0.0451	3 5/8"	12" O.C.	B T05	B B02		2			
B6D	0.0312	3 5/8"	16" O.C.	B T09	B B08					

### B TYPE



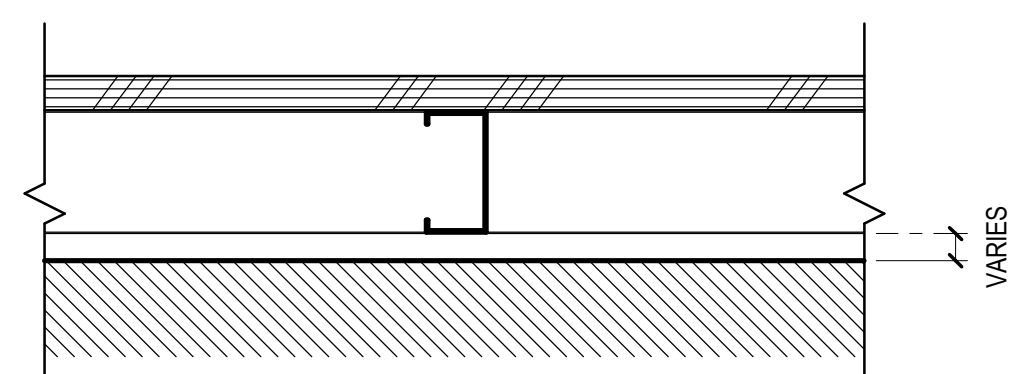
PARTITION TYPE MARK	FRAMING			DETAILS		ATTN THK	FIRE RTG	TESTED ASSEMBLY	STC RTG	SHEET NOTES
	THK (IN)	DEPTH	SPACING	TOP	BOT					
L3A	0.0451	3 5/8"	12" O.C.	L T06	L B08					1
L3B	0.0270	3 5/8"	12" O.C.	L T04	L B08					1

### L TYPE



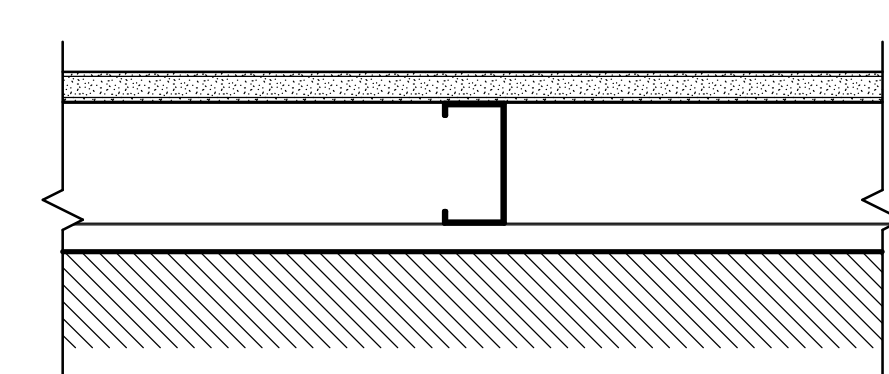
PARTITION TYPE MARK	FRAMING			DETAILS		ATTN THK	FIRE RTG	TESTED ASSEMBLY	STC RTG	SHEET NOTES
	THK (IN)	DEPTH	SPACING	TOP	BOT					
C3A	0.0451	3 5/8"	12" O.C.	C T04	C B08					
C3B	0.0451	3 5/8"	12" O.C.	C T06	C B08					
C3C	0.0179	3 5/8"	12" O.C.	C T04	C B08					
C6A	0.0312	6"	16" O.C.	C T04	C B08					
C6B	0.0312	6"	16" O.C.	C T06	C B08					

### C TYPE



PARTITION TYPE MARK	FRAMING			DETAILS		ATTN THK	FIRE RTG	TESTED ASSEMBLY	STC RTG	SHEET NOTES
	THK (IN)	DEPTH	SPACING	TOP	BOT					
N3A	0.0451	3 5/8"	12" O.C.	N T06	N B01					1
N3B	0.0270	3 5/8"	12" O.C.	N T06	N B01					1

### N TYPE



PARTITION TYPE MARK	FRAMING			DETAILS		ATTN THK	FIRE RTG	TESTED ASSEMBLY	STC RTG	SHEET NOTES
	THK (IN)	DEPTH	SPACING	TOP	BOT					
D3_		3 5/8"								
D3A	0.0451	3 5/8"	12" O.C.	D T04	D B01					1
D3B	0.0451	3 5/8"	12" O.C.	D T06	D B01					
D3C	0.0179	3 5/8"	12" O.C.	D T04	D B01					1
D3D	0.0179	3 5/8"	12" O.C.	D T06	D B01					1
D6A	0.0312	6"	16" O.C.	D T04	D B01					
D6B	0.0312	6"	16" O.C.	D T06	D B01					1

### D TYPE

**NOT FOR CONSTRUCTION**

Project Name

Jackie Robinson Foundation

Project Number

06.6256.015

Description

PARTITION TYPES

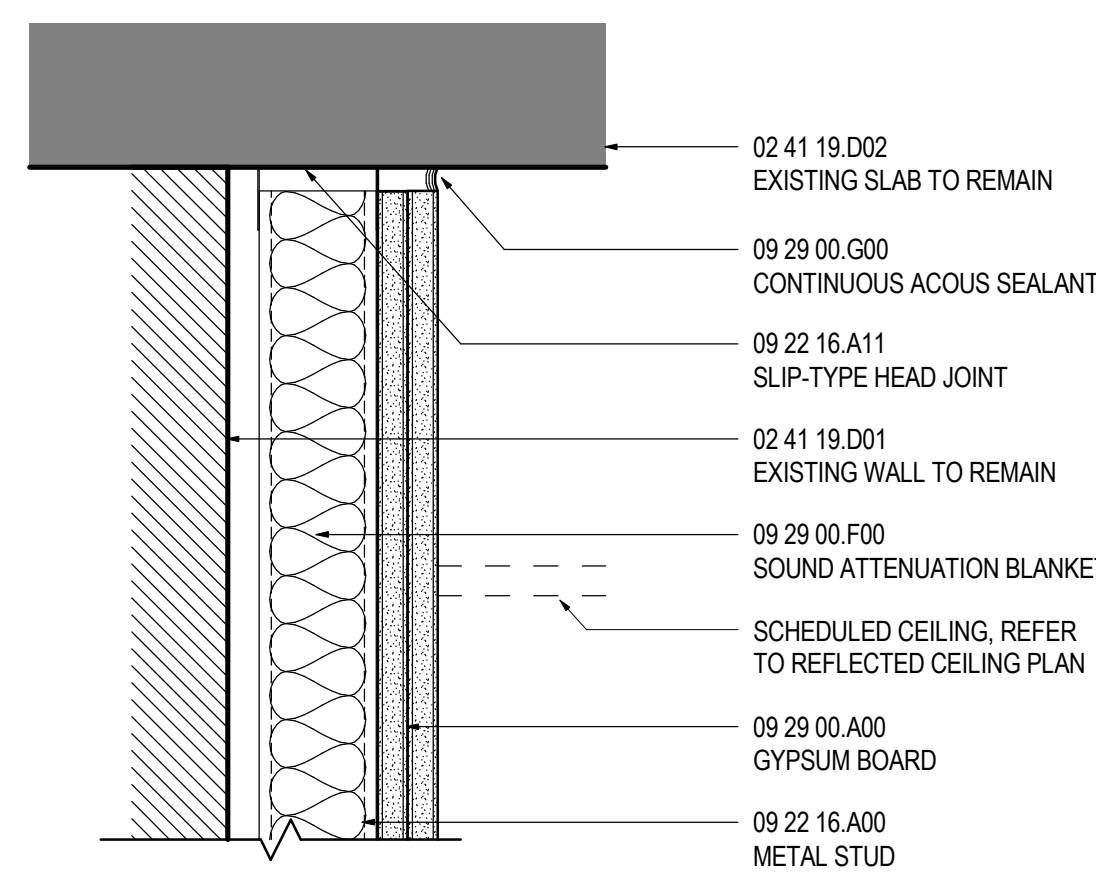
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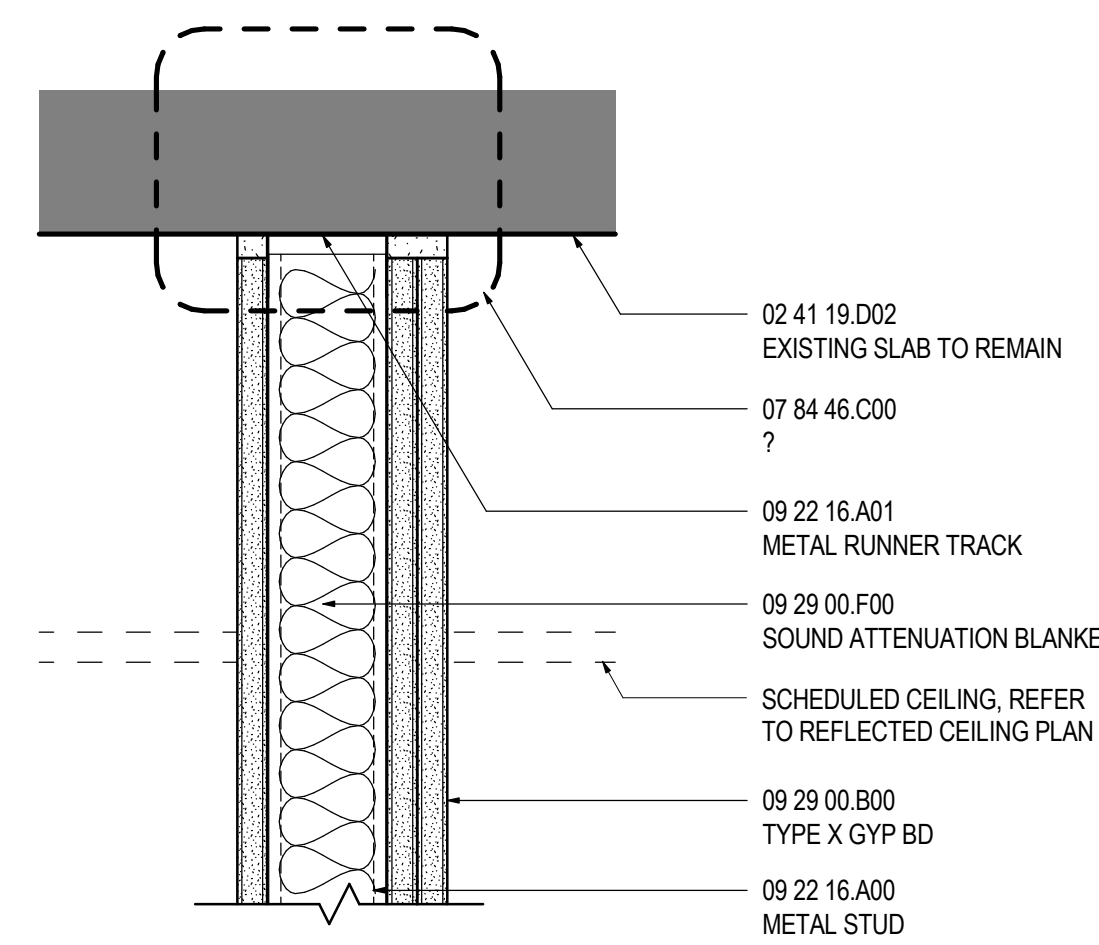
**A-020**

**PARTITION DETAIL LEGEND**

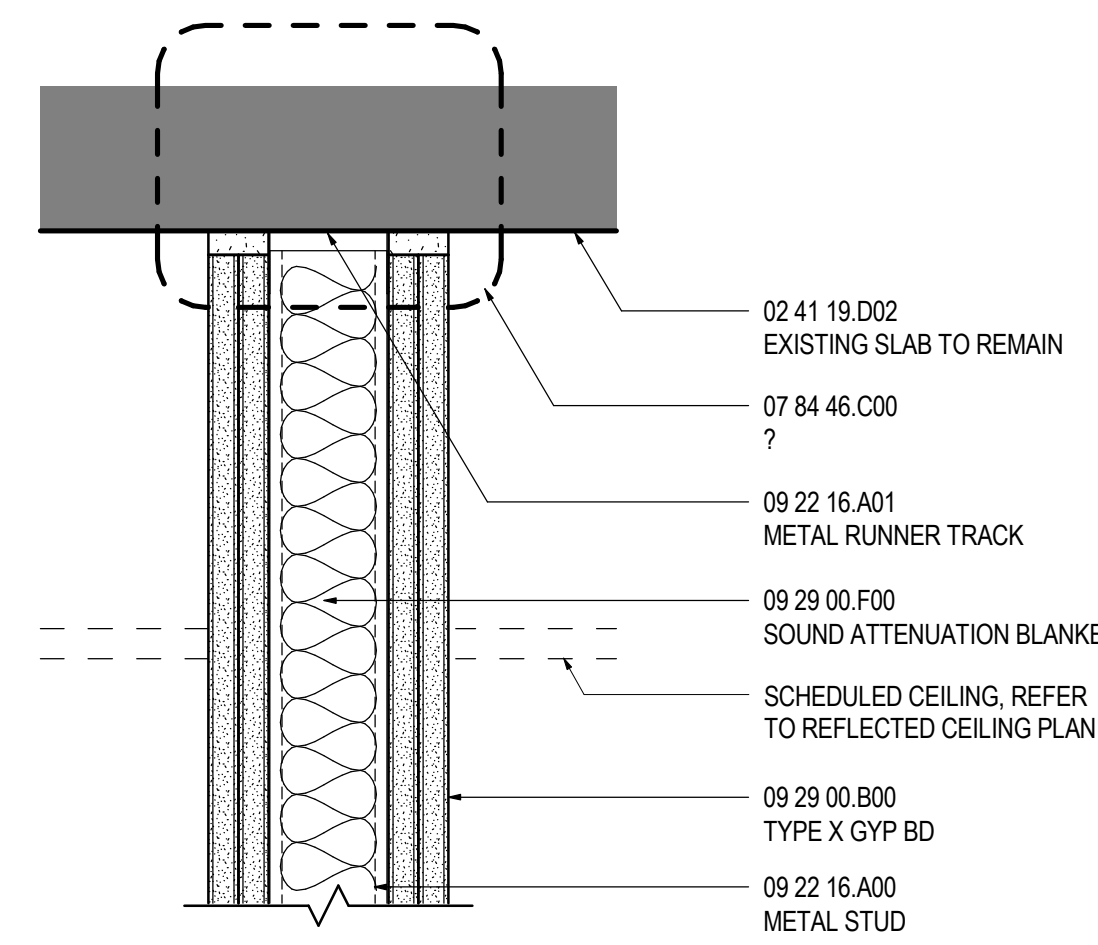
TOP OF PARTITION DETAILS	
TYPE	DESCRIPTION
T01	UNDERSIDE OF METAL DECK SLAB
T02	UNDERSIDE OF METAL DECK SLAB (FIRE RATED)
T03	UNDERSIDE OF METAL DECK SLAB AND SHEATHING 6" ABOVE SCHEDULED FINISHED CEILING
T04	UNDERSIDE OF CONCRETE SLAB (NON-RATED)
T05	UNDERSIDE OF CONCRETE SLAB (FIRE-RATED)
T06	UNDERSIDE OF CONCRETE SLAB AND SHEATHING 6" ABOVE SCHEDULED FINISHED CEILING
T07	UNDERSIDE OF ACOUSTIC TILE/PANEL CEILING
T08	UNDERSIDE OF GYPSUM BOARD CEILING
T09	LOW PARTITION WITH WOOD CAP
T10	LOW PARTITION WITH GYPSUM BOARD CAP
T11	UNDERSIDE OF METAL DECK SLAB (NON-RATED) NO CEILING
T12	UNDERSIDE OF METAL DECK SLAB (FIRE-RATED) NO CEILING
T13-T20	RESERVED FOR FUTURE EXPANSION
T21	CUSTOM
BOTTOM OF PARTITION DETAILS	
TYPE	DESCRIPTION
B01	SLAB
B02	SLAB (FIRE RATED)
B03	CURB
B04	CURB (FIRE RATED)
B05	CURB OFFSET
B06	CURB OFFSET (FIRE RATED)
B07	RAISED FLOOR
B08-B15	RESERVED FOR FUTURE EXPANSION
B16	CUSTOM



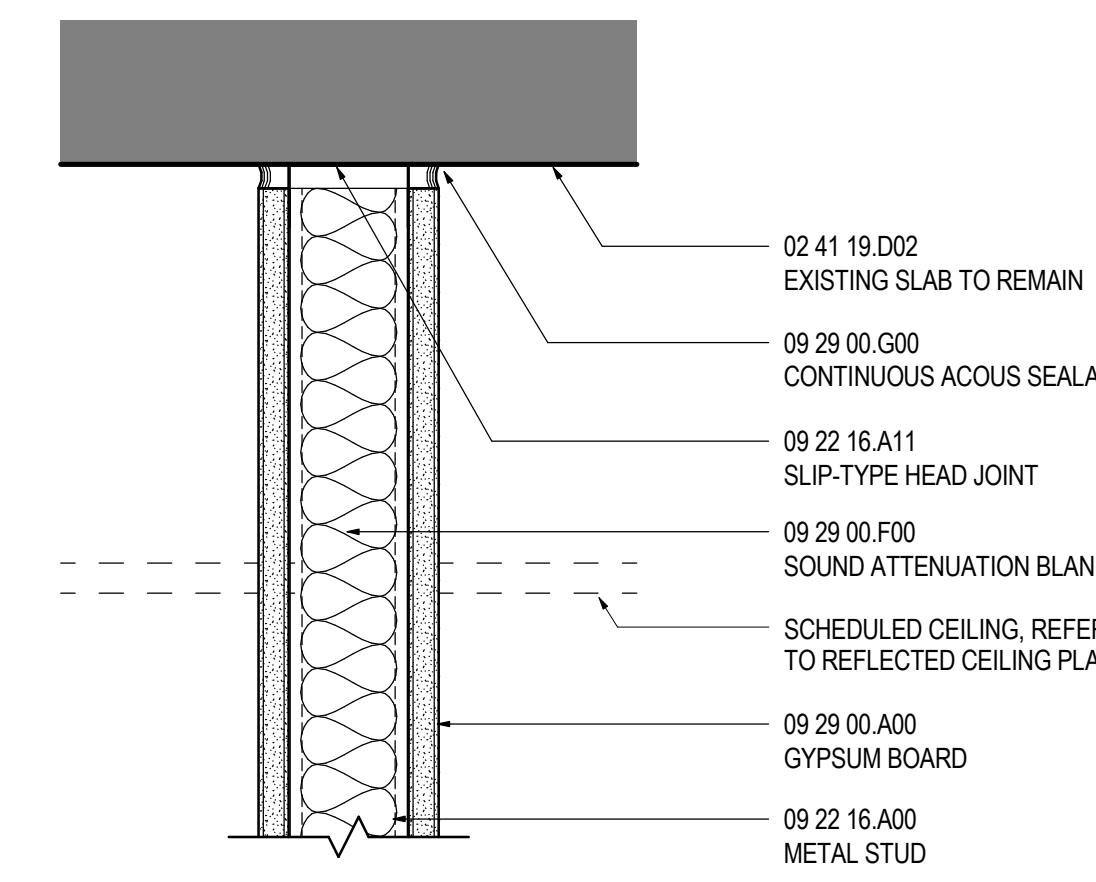
E T04



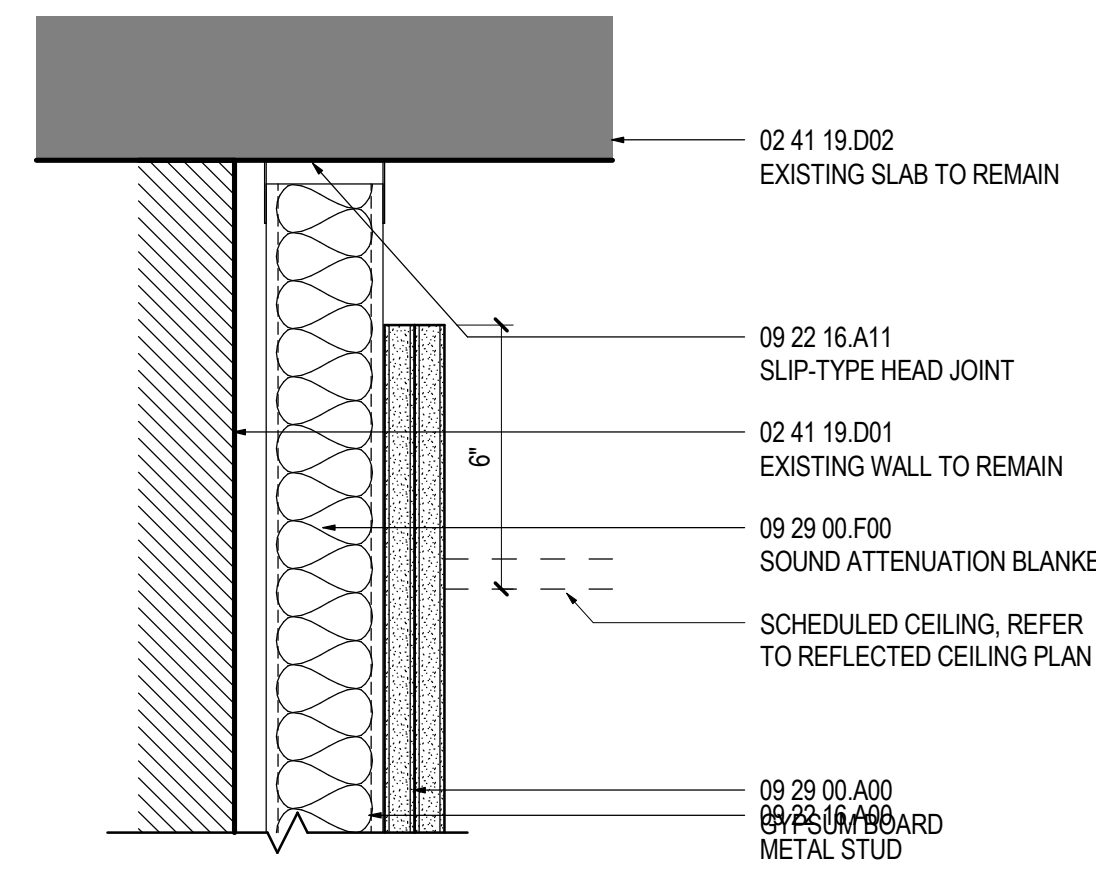
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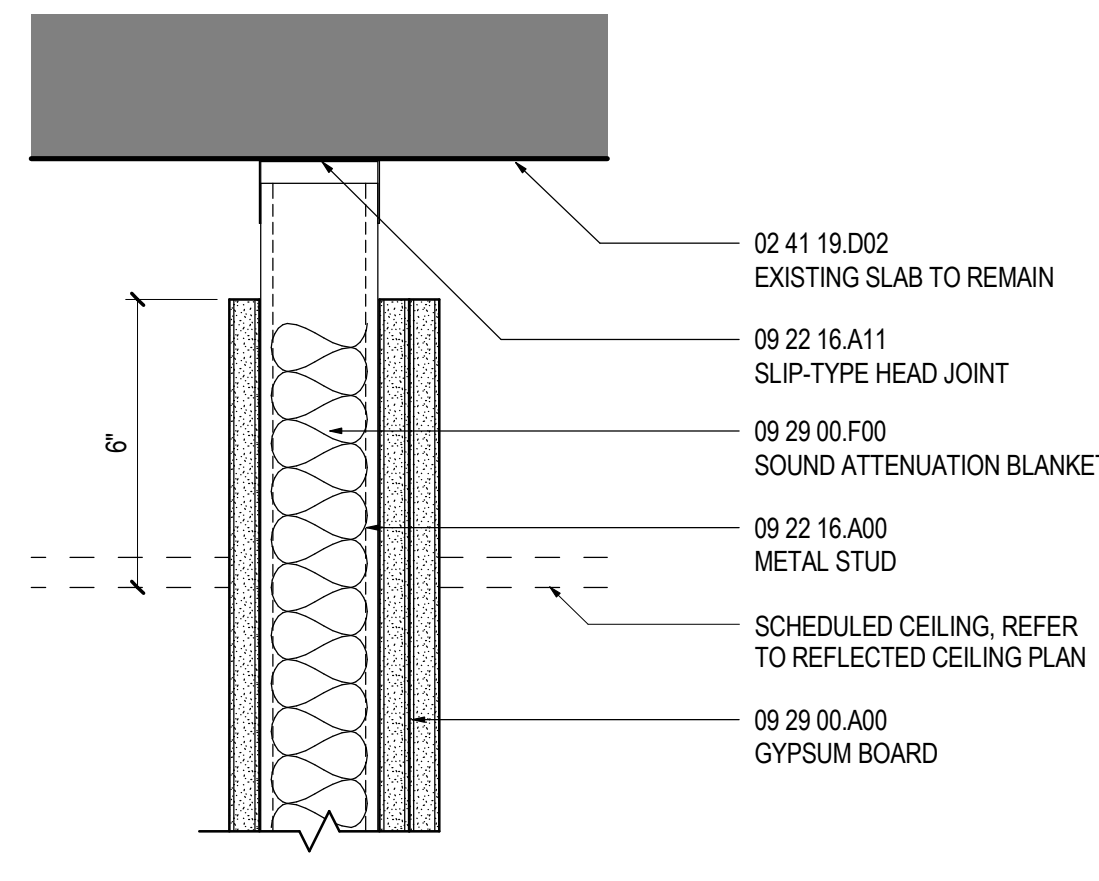
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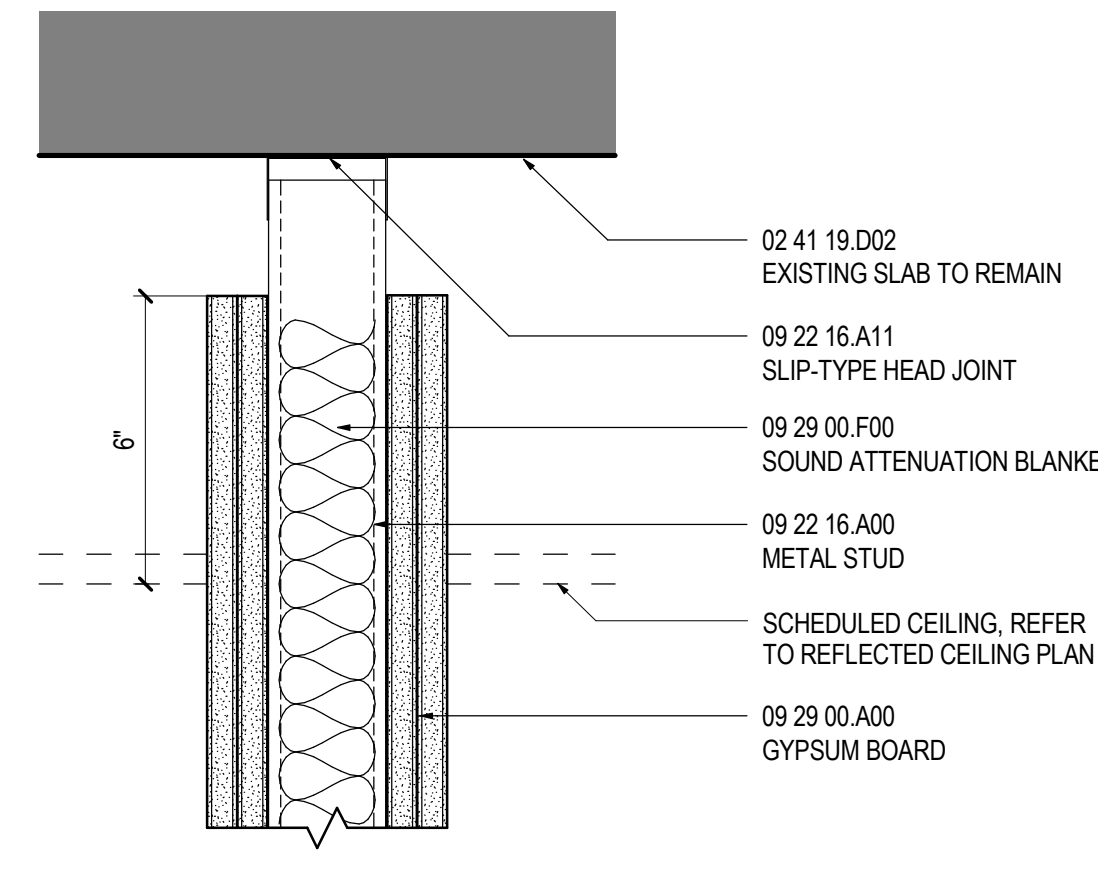
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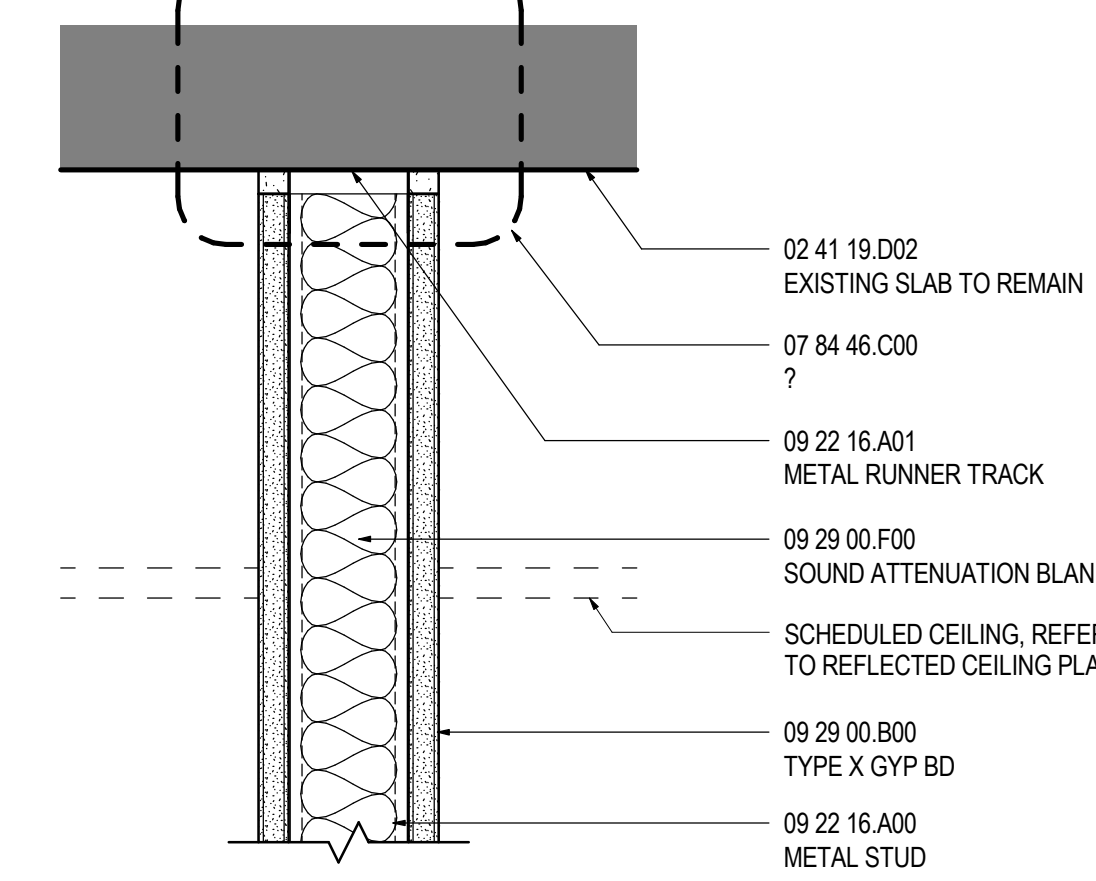
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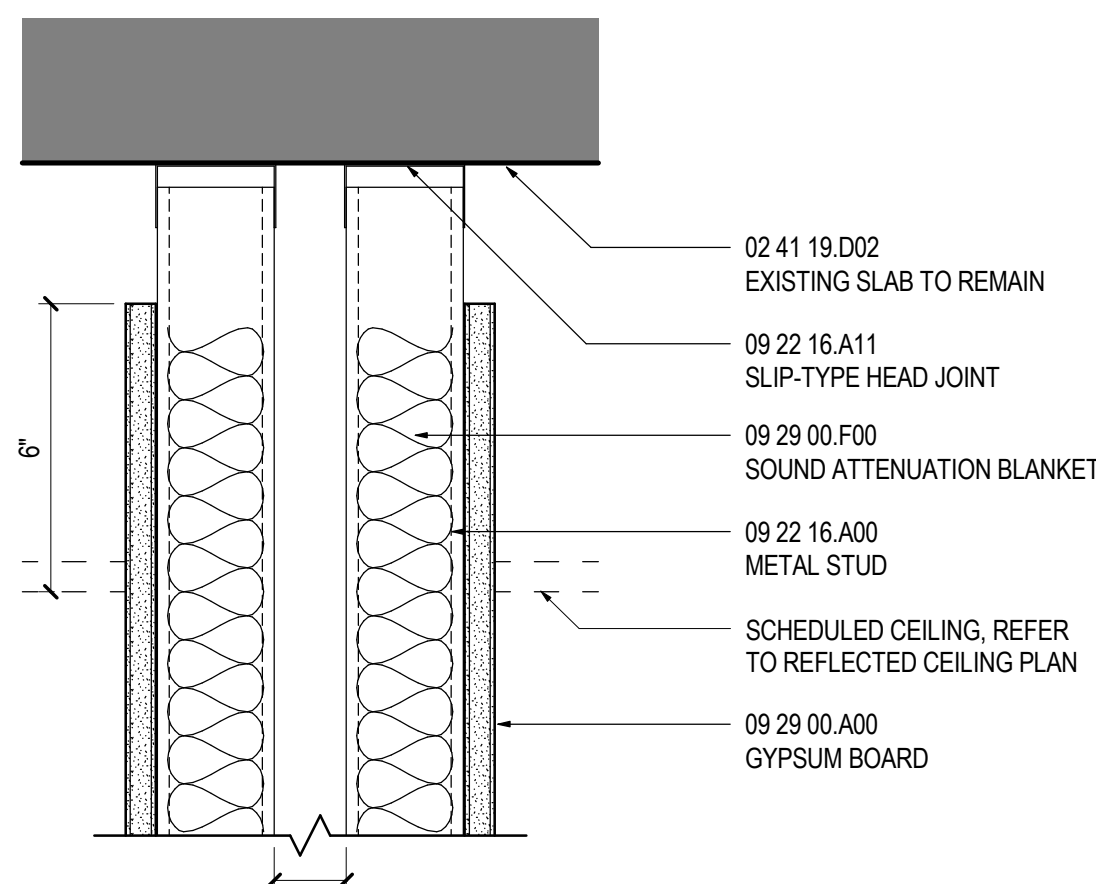
C T06



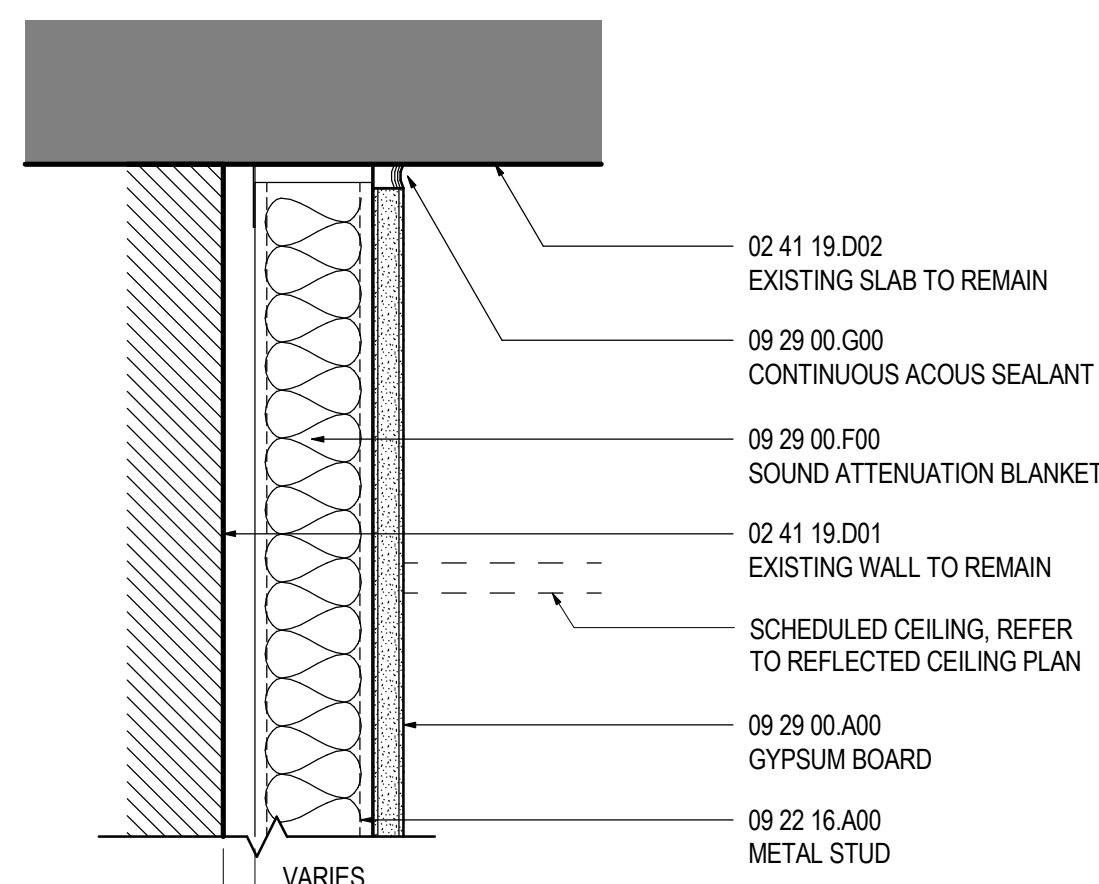
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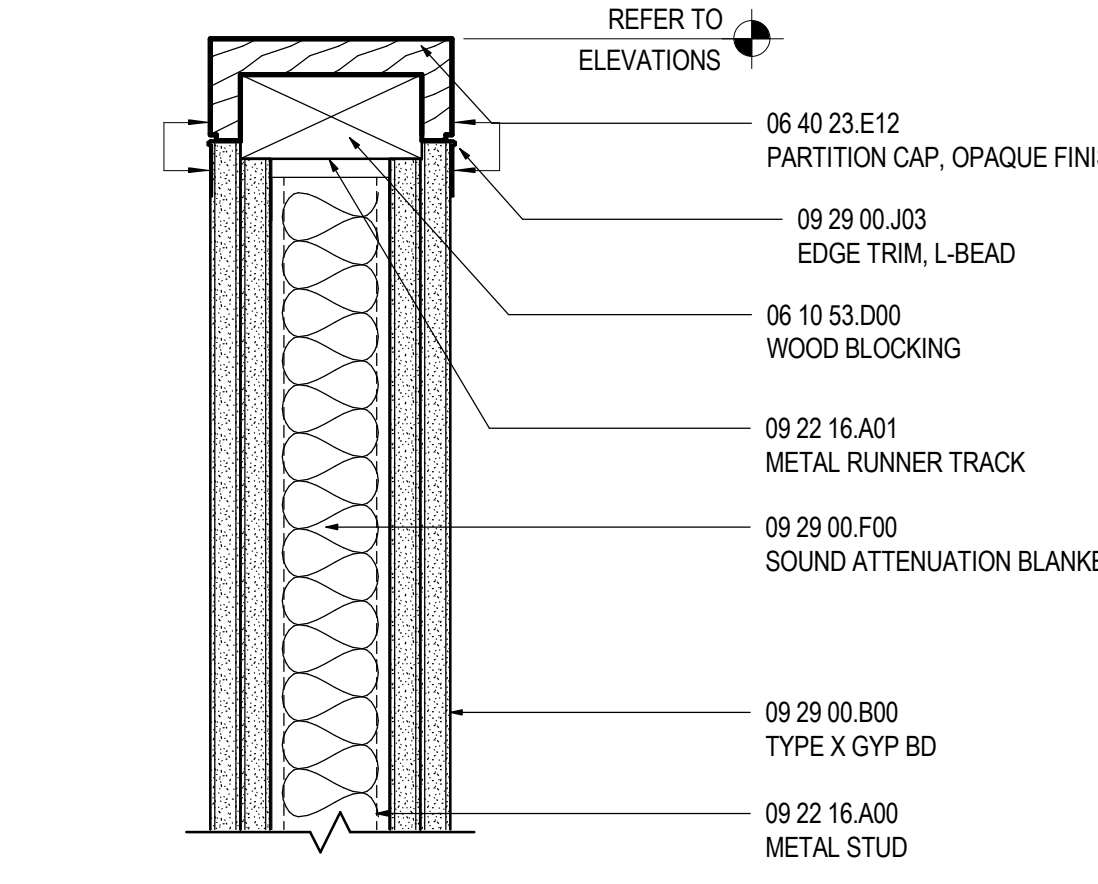
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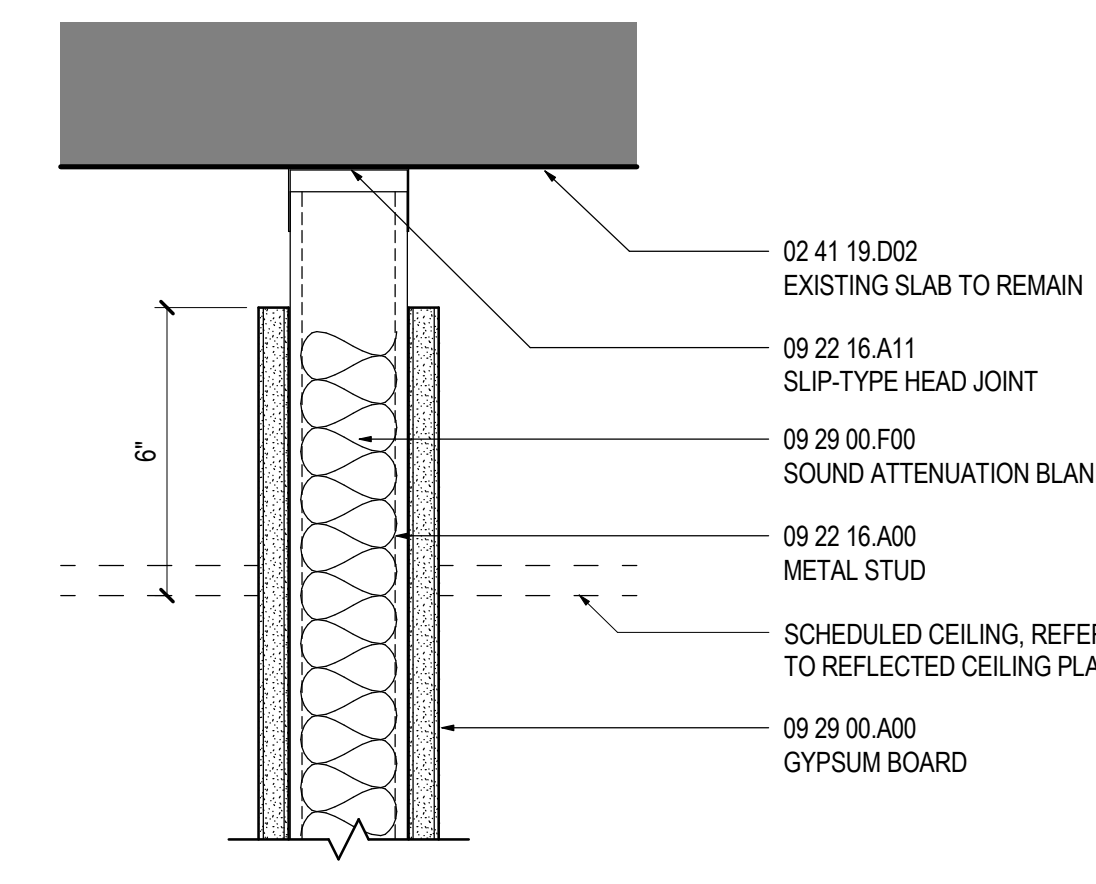
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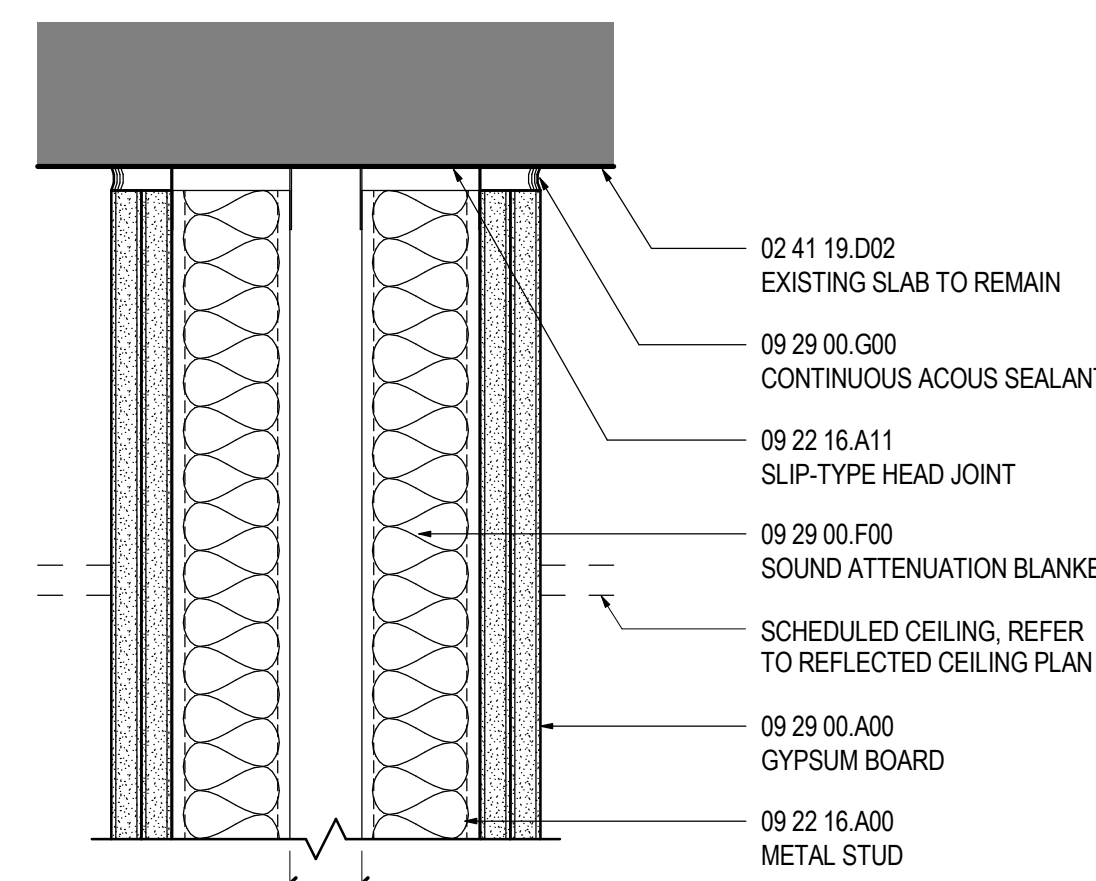
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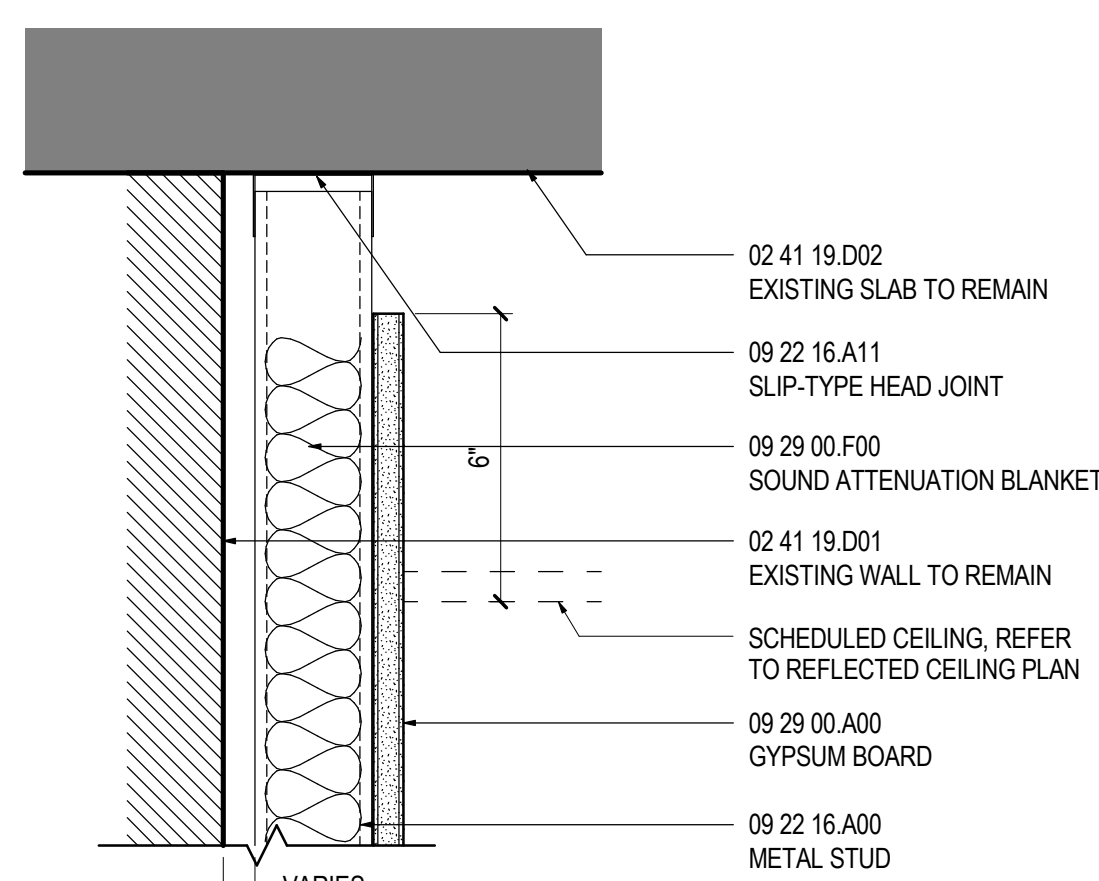
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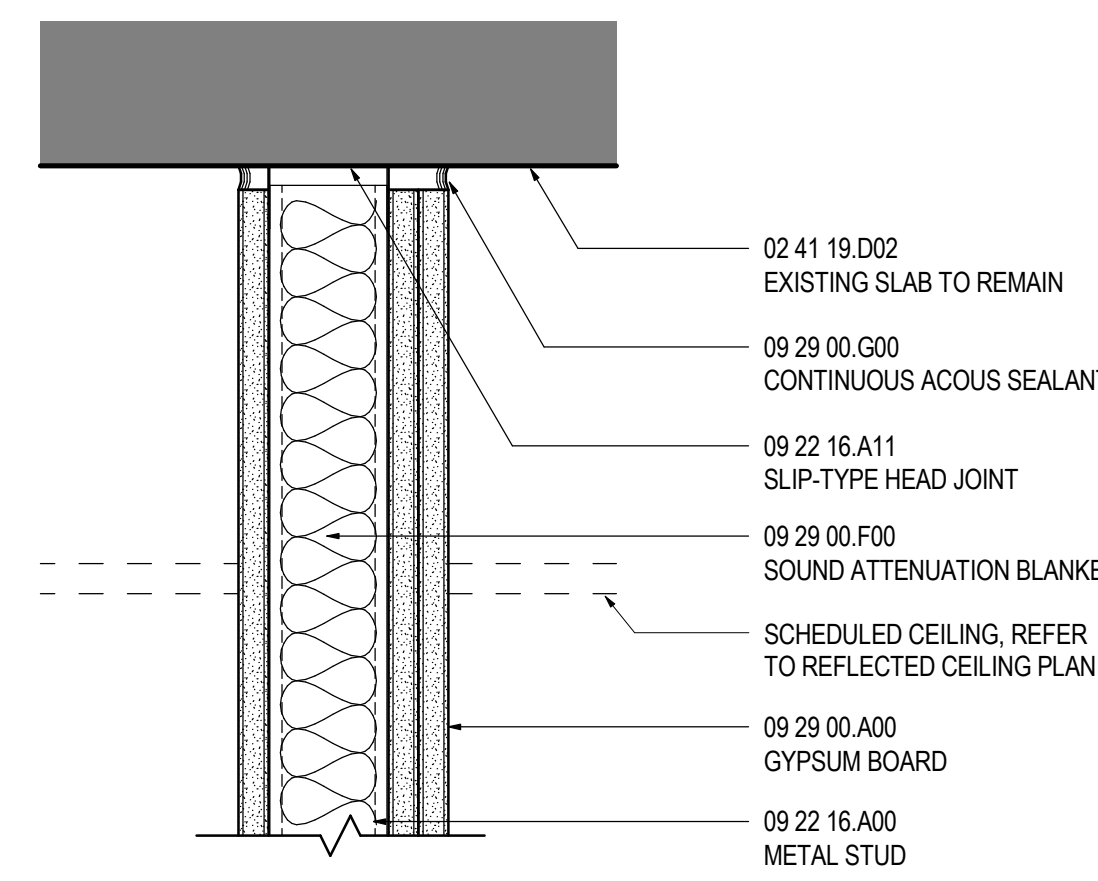
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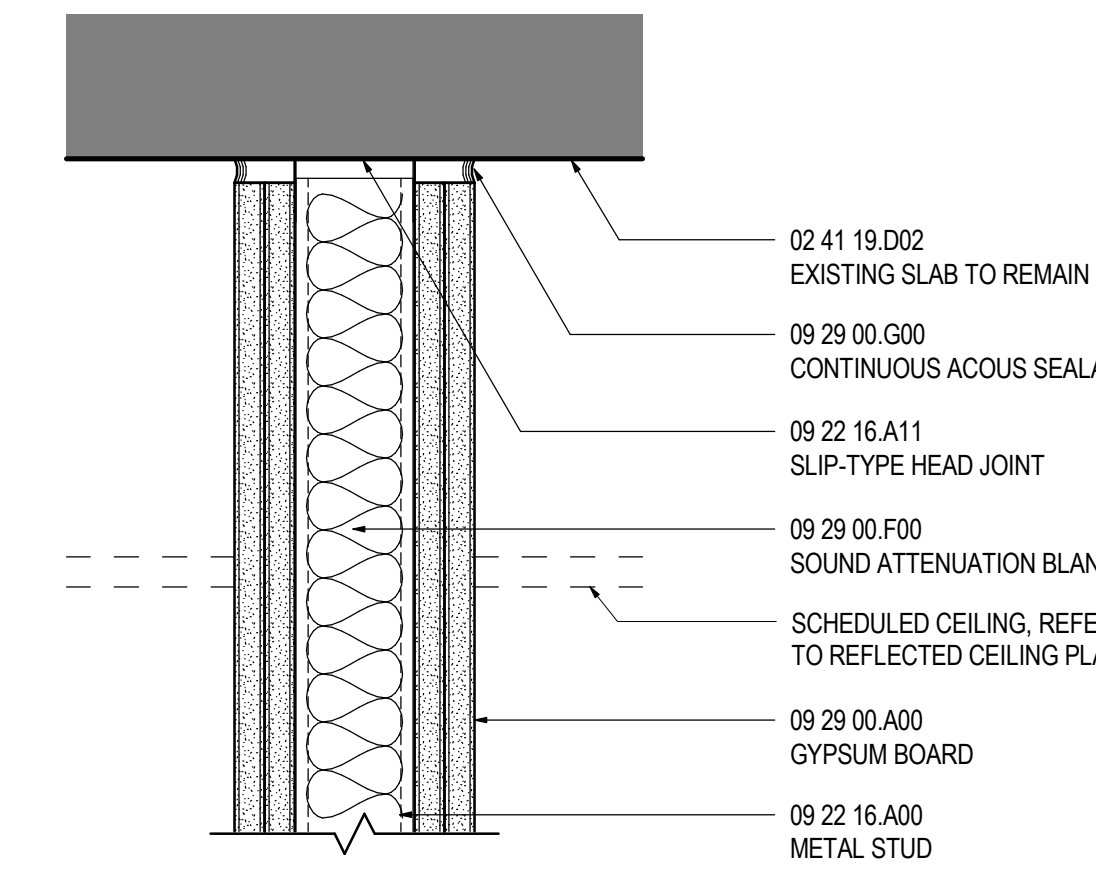
L T04



D T06



C T04



B T04

**NOT FOR CONSTRUCTION**

Project Name  
Jackie Robinson Foundation

Project Number  
06.6256.015

Description  
HEAD OF WALL DETAILS

Scale  
3" = 1'-0"

**A-030**

# Jackie Robinson Museum

75 Varick Street  
New York, NY 10013

## Gensler

1700 Broadway  
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New York, NY 10019  
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MEP & FP Engineer  
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Structural Engineer  
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Van Deusen & Associates  
Vertical Transportation Consultant  
120 Eagle Rock Avenue  
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East Hanover, NJ 07936  
Tel: 973.994.5220

△	Date	Description
	12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR  
CONSTRUCTION**

Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

Description  
**HEAD OF WALL DETAILS**

Scale  
**3" = 1'-0"**

**A-031**

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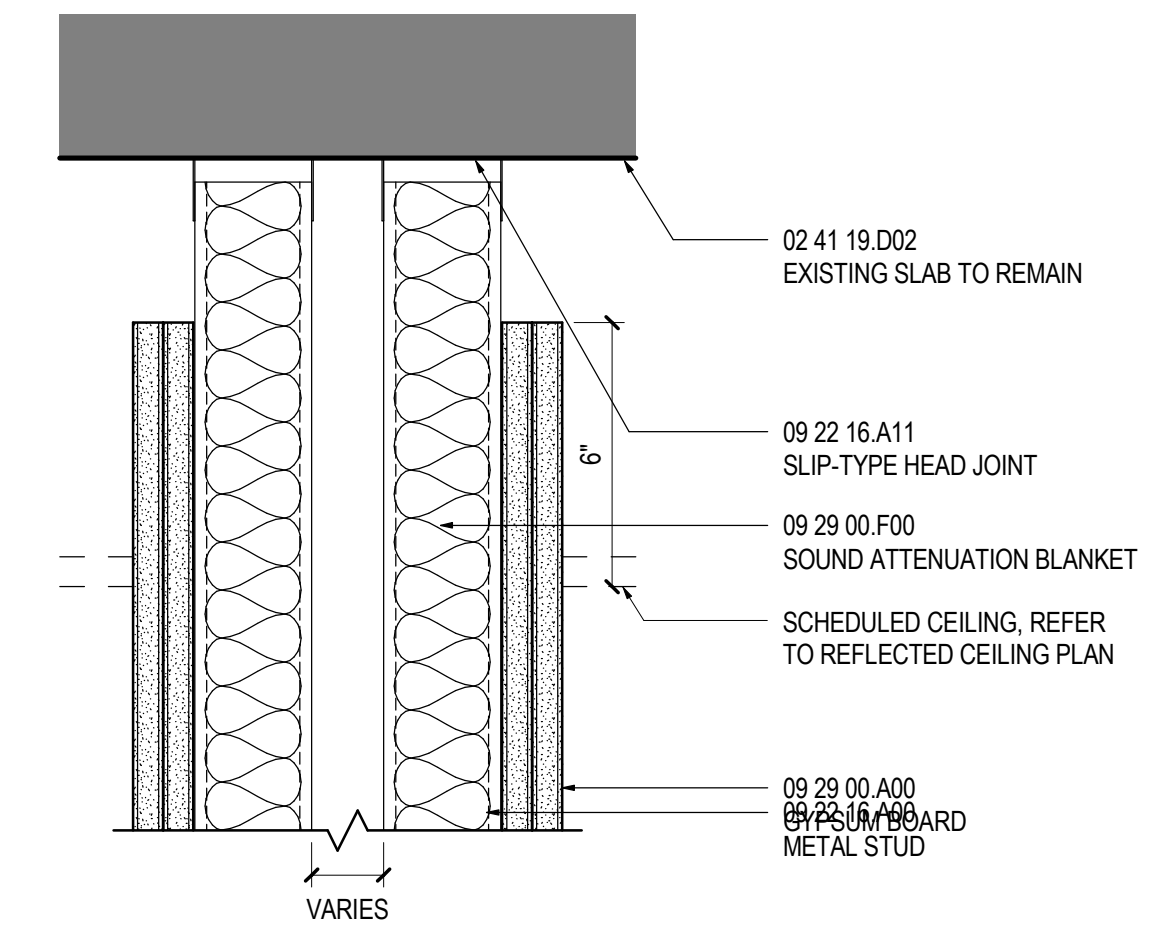
### PARTITION DETAIL LEGEND

#### TOP OF PARTITION DETAILS

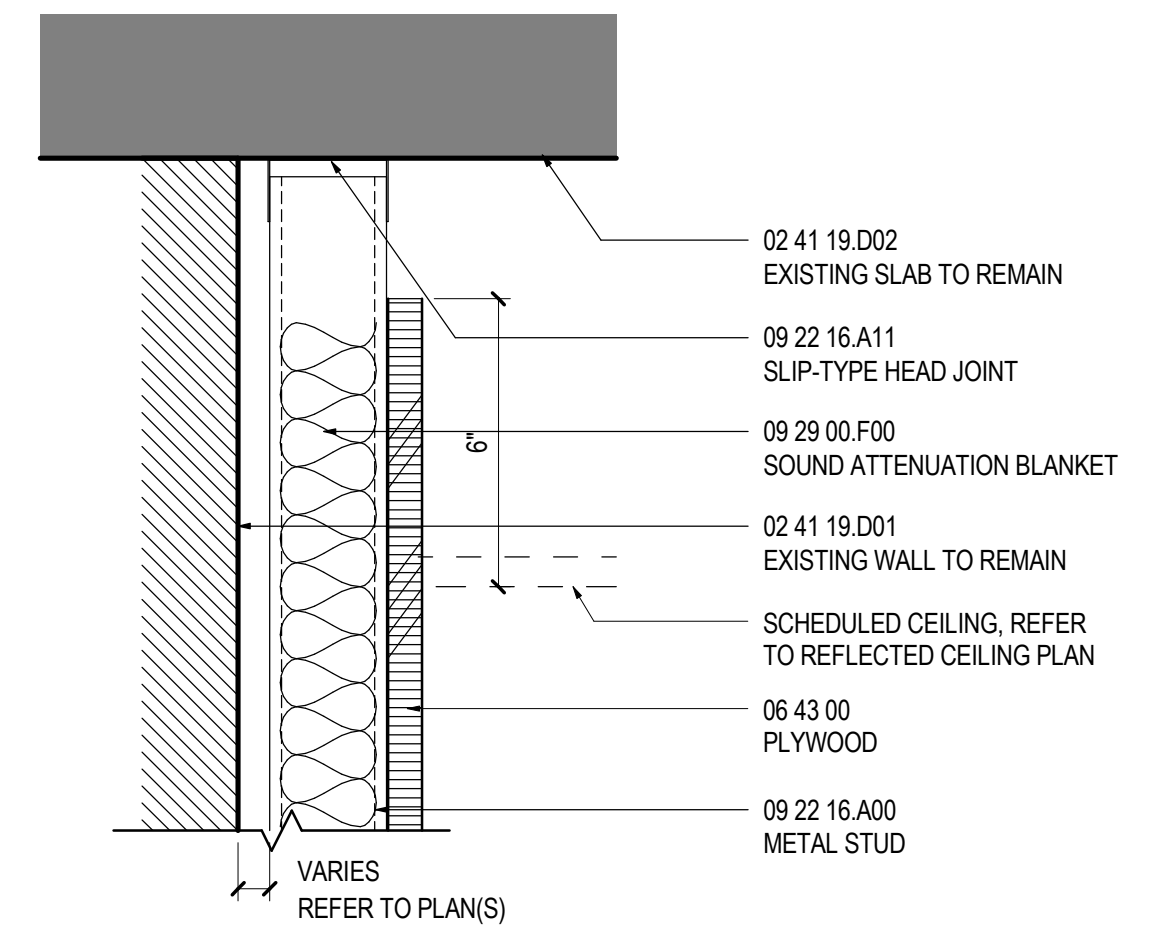
TYPE	DESCRIPTION
T01	UNDERSIDE OF METAL DECK SLAB
T02	UNDERSIDE OF METAL DECK SLAB (FIRE RATED)
T03	UNDERSIDE OF METAL DECK SLAB AND SHEATHING 6" ABOVE SCHEDULED FINISHED CEILING
T04	UNDERSIDE OF CONCRETE SLAB (NON-RATED)
T05	UNDERSIDE OF CONCRETE SLAB (FIRE-RATED)
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T11	UNDERSIDE OF METAL DECK SLAB (NON-RATED) NO CEILING
T12	UNDERSIDE OF METAL DECK SLAB (FIRE-RATED) NO CEILING
T13-T20	RESERVED FOR FUTURE EXPANSION
T21	CUSTOM

#### BOTTOM OF PARTITION DETAILS

TYPE	DESCRIPTION
B01	SLAB
B02	SLAB (FIRE RATED)
B03	CURB
B04	CURB (FIRE RATED)
B05	CURB OFFSET
B06	CURB OFFSET (FIRE RATED)
B07	RAISED FLOOR
B08-B15	RESERVED FOR FUTURE EXPANSION
B16	CUSTOM



L T06



N T06

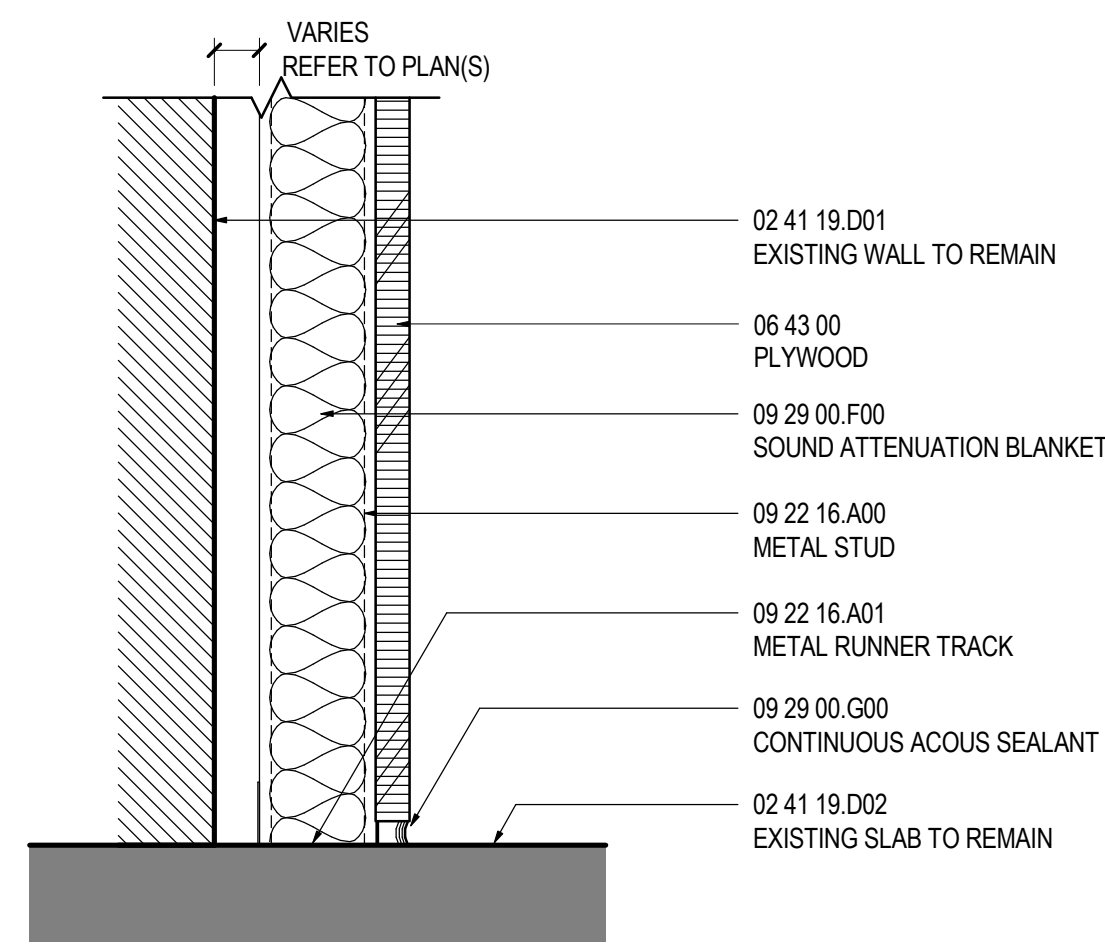
**PARTITION DETAIL LEGEND**

**TOP OF PARTITION DETAILS**

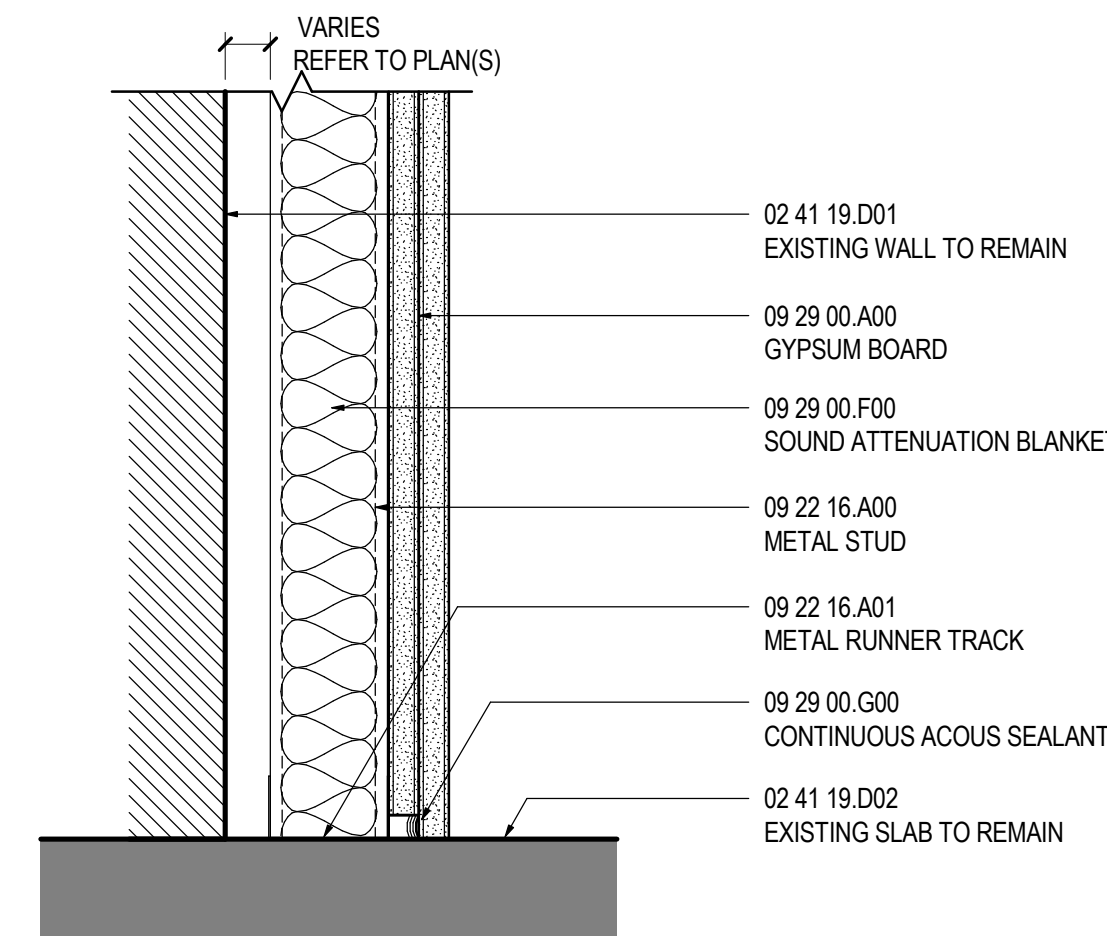
TYPE	DESCRIPTION
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T13-T20	RESERVED FOR FUTURE EXPANSION
T21	CUSTOM

**BOTTOM OF PARTITION DETAILS**

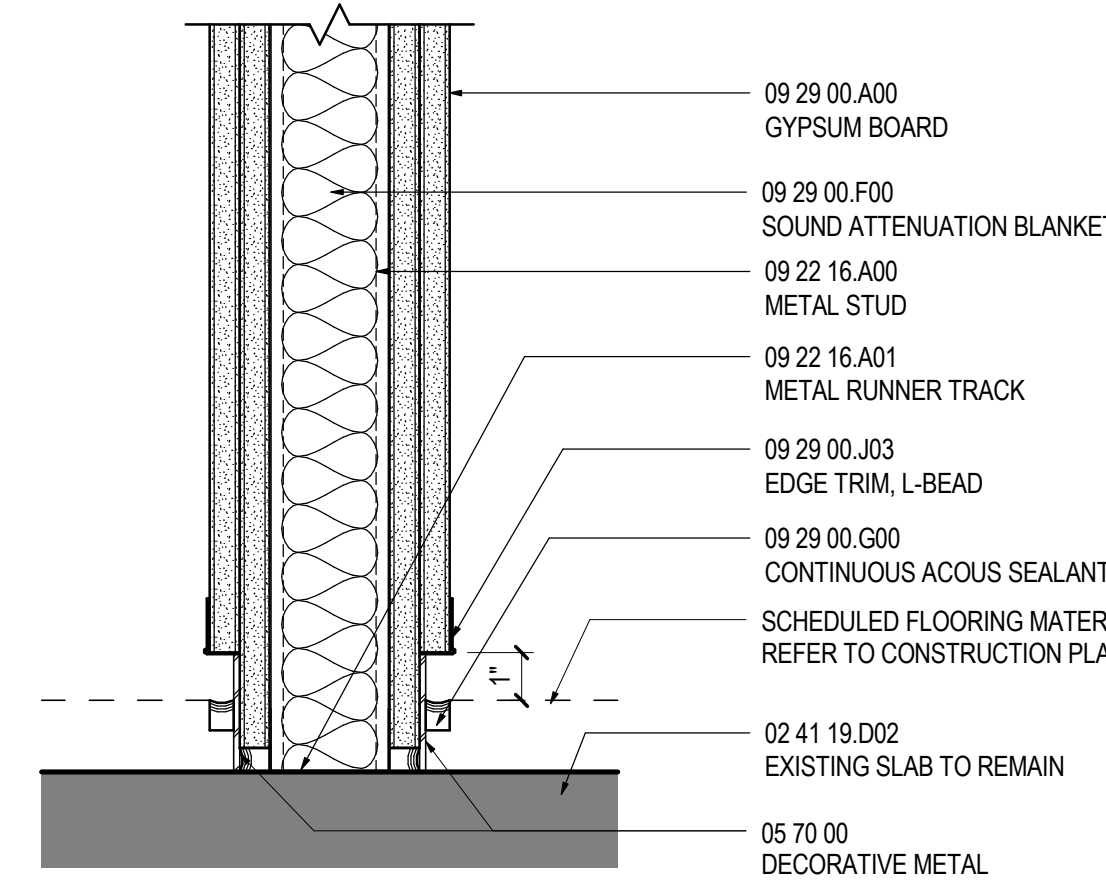
TYPE	DESCRIPTION
B01	SLAB
B02	SLAB (FIRE RATED)
B03	CURB
B04	CURB (FIRE RATED)
B05	CURB OFFSET
B06	CURB OFFSET (FIRE RATED)
B07	RAISED FLOOR
B08-B15	RESERVED FOR FUTURE EXPANSION
B16	CUSTOM



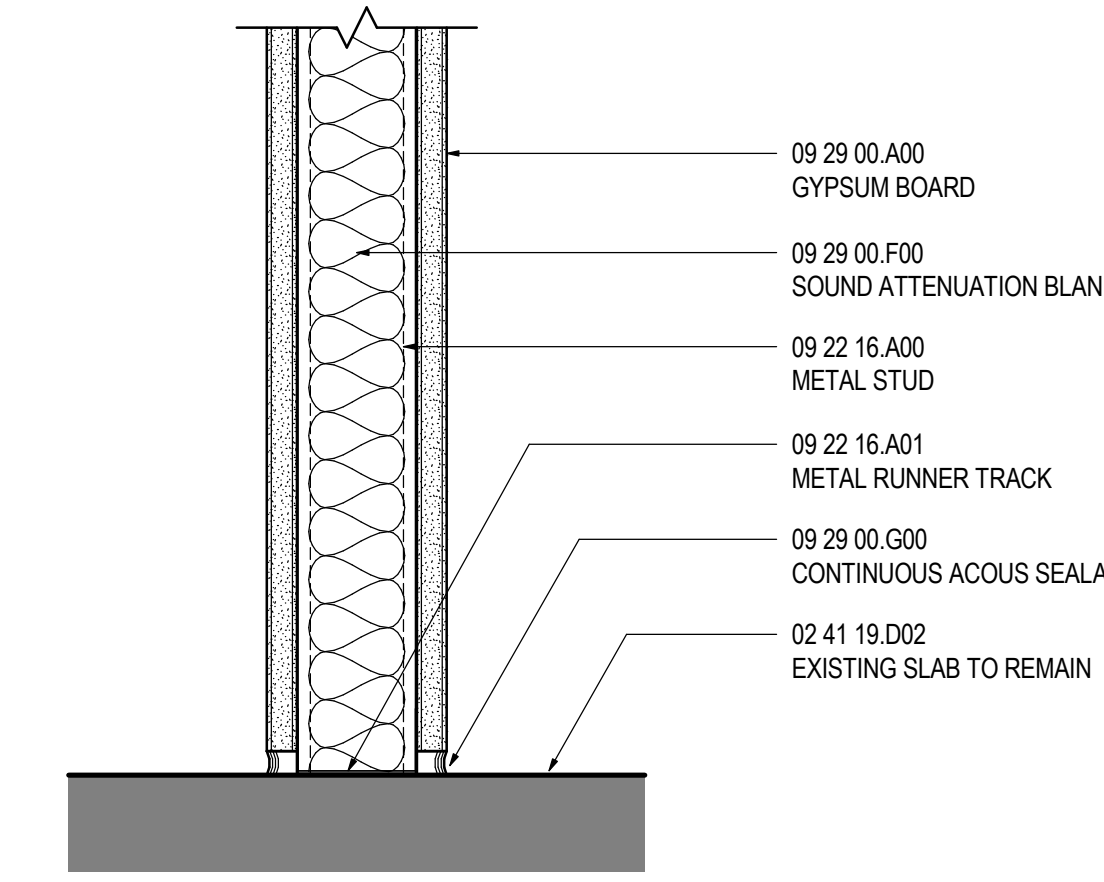
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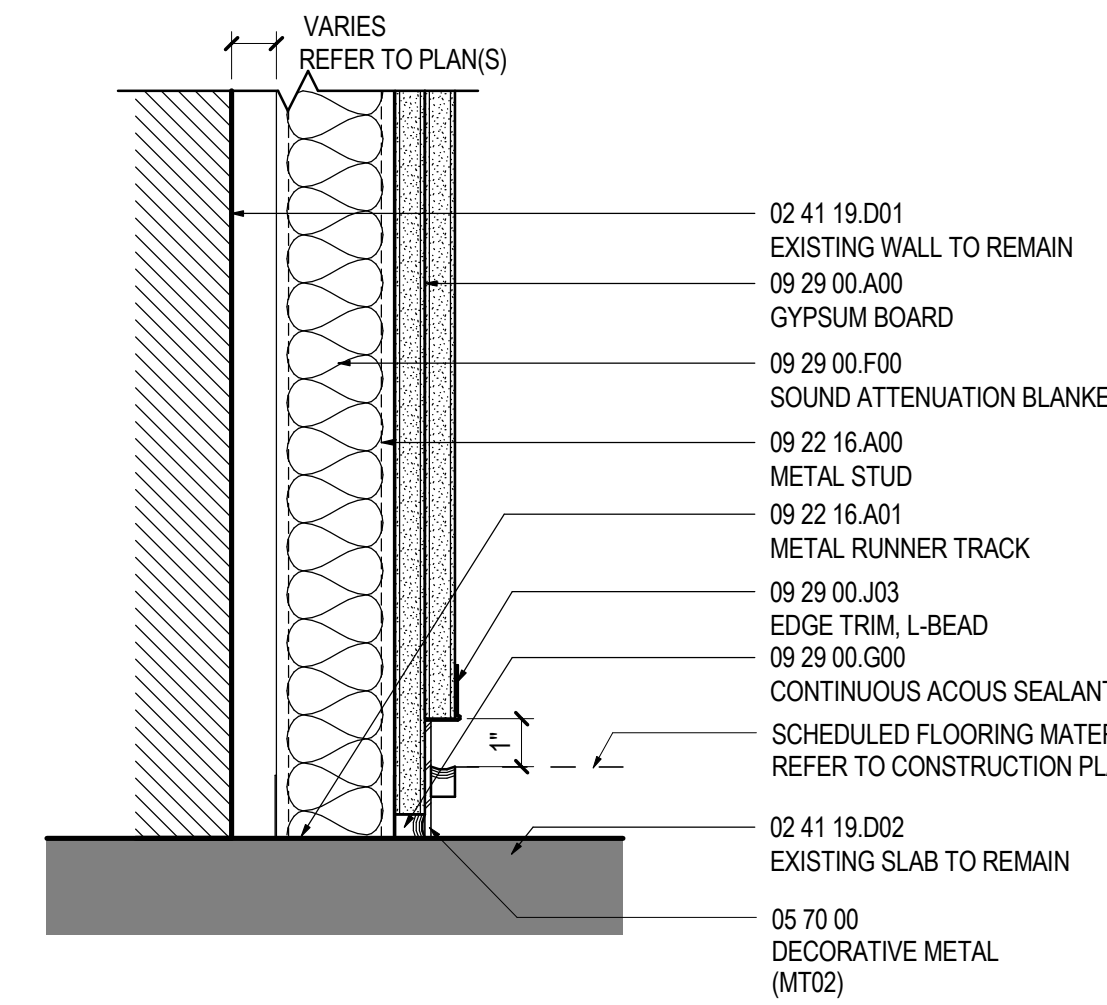
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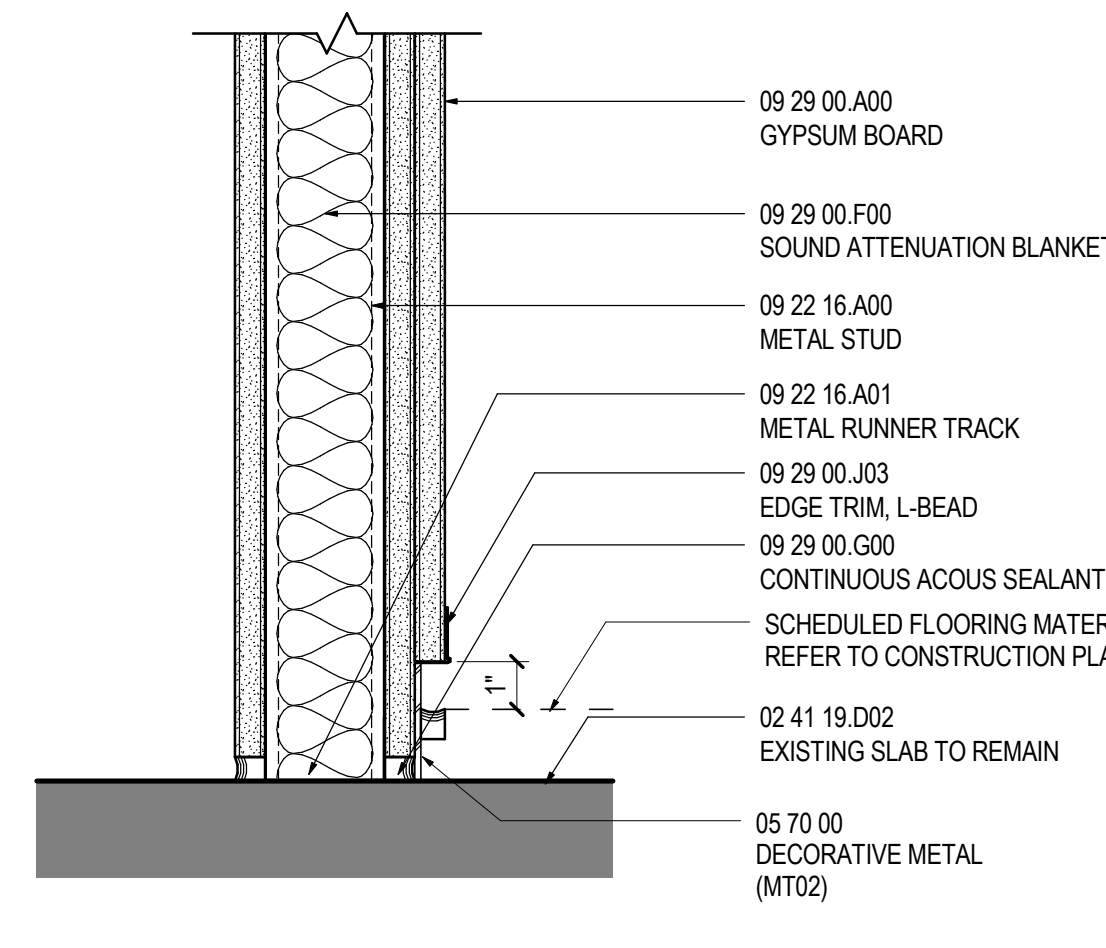
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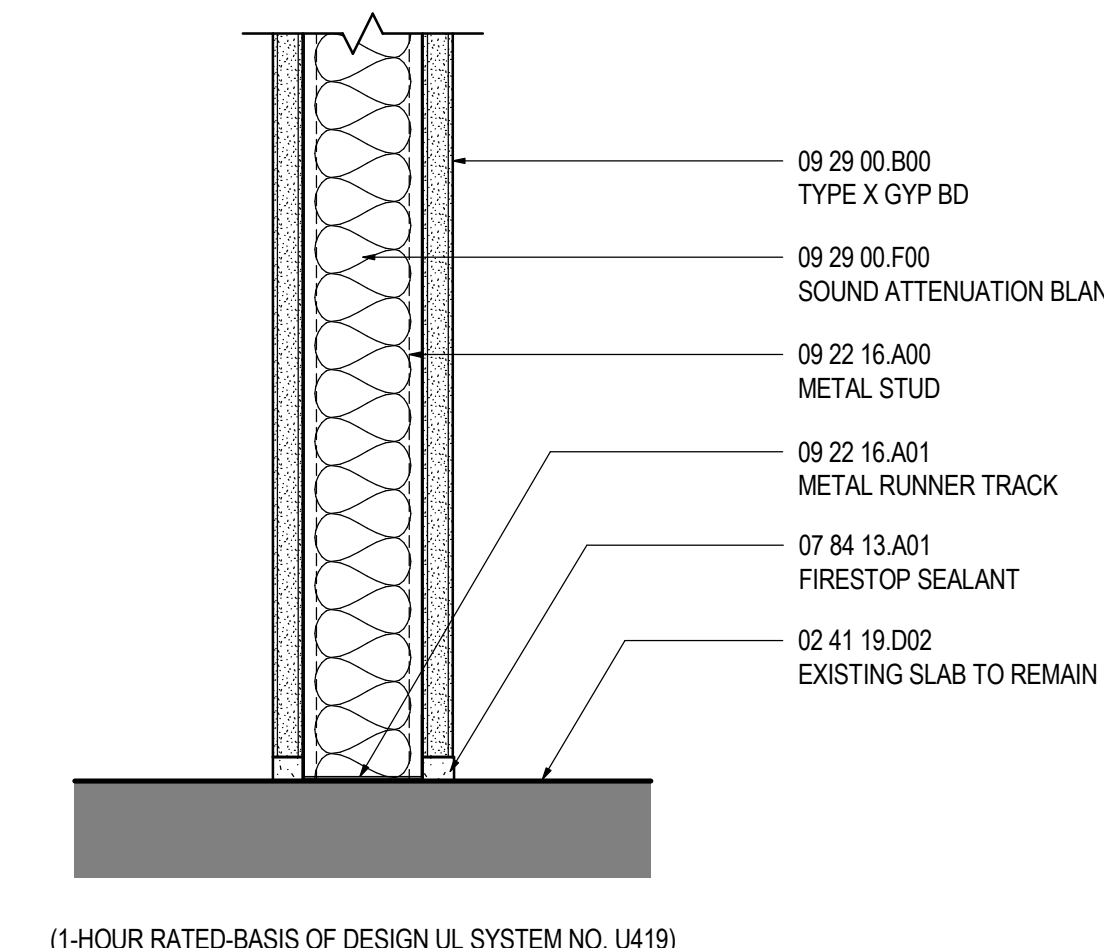
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**E B08**

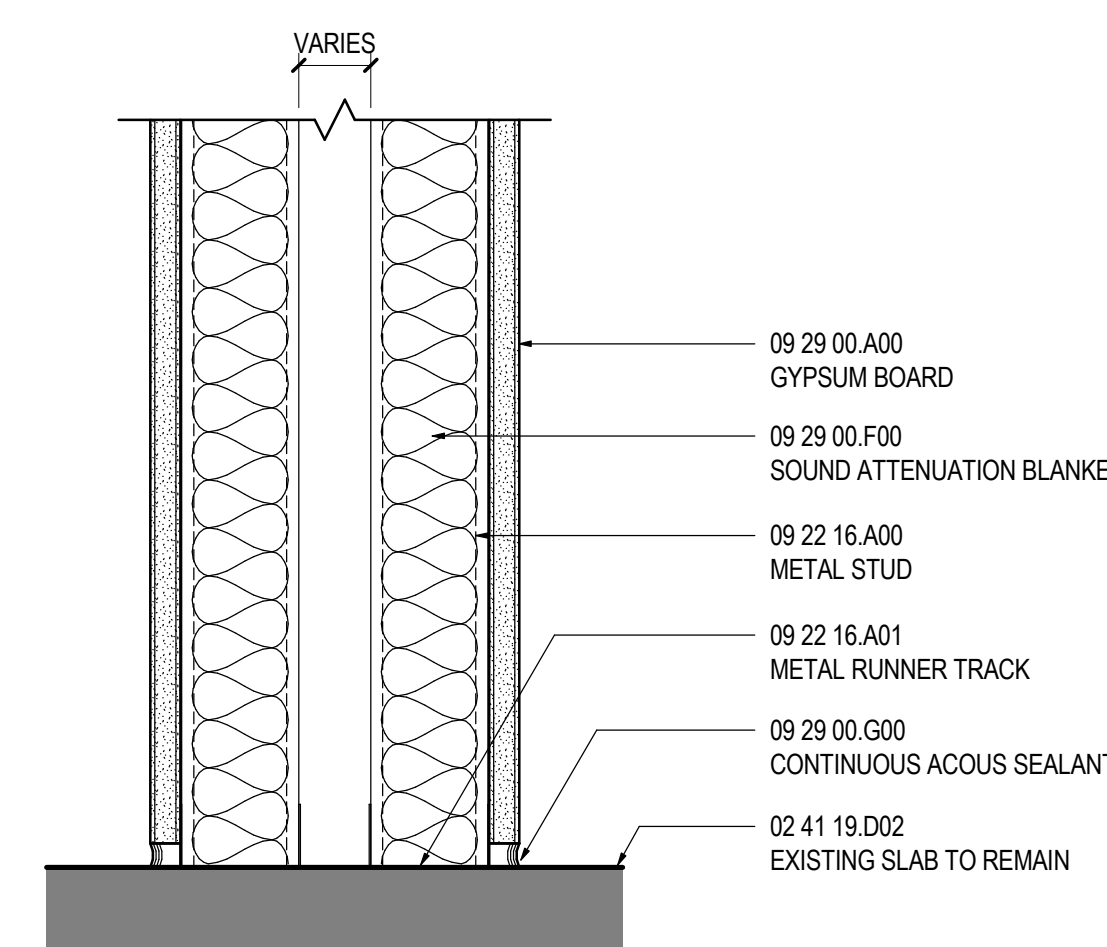


**C B08**

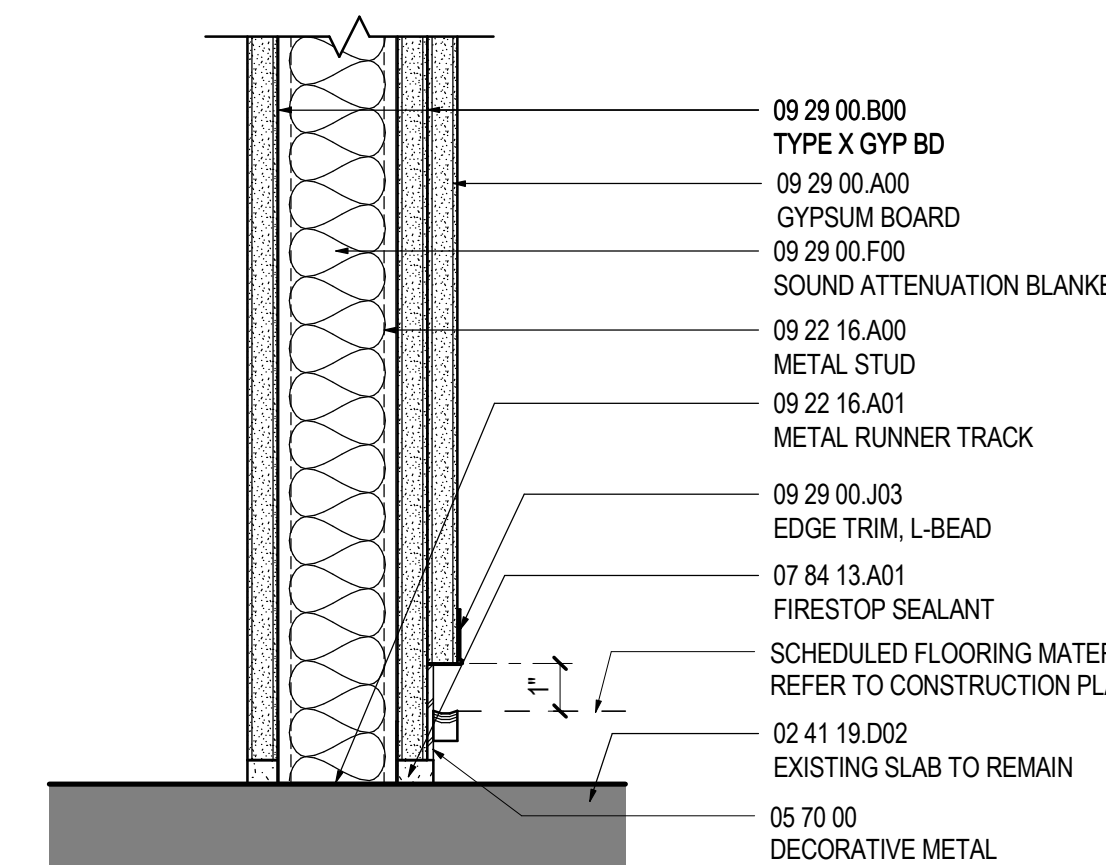


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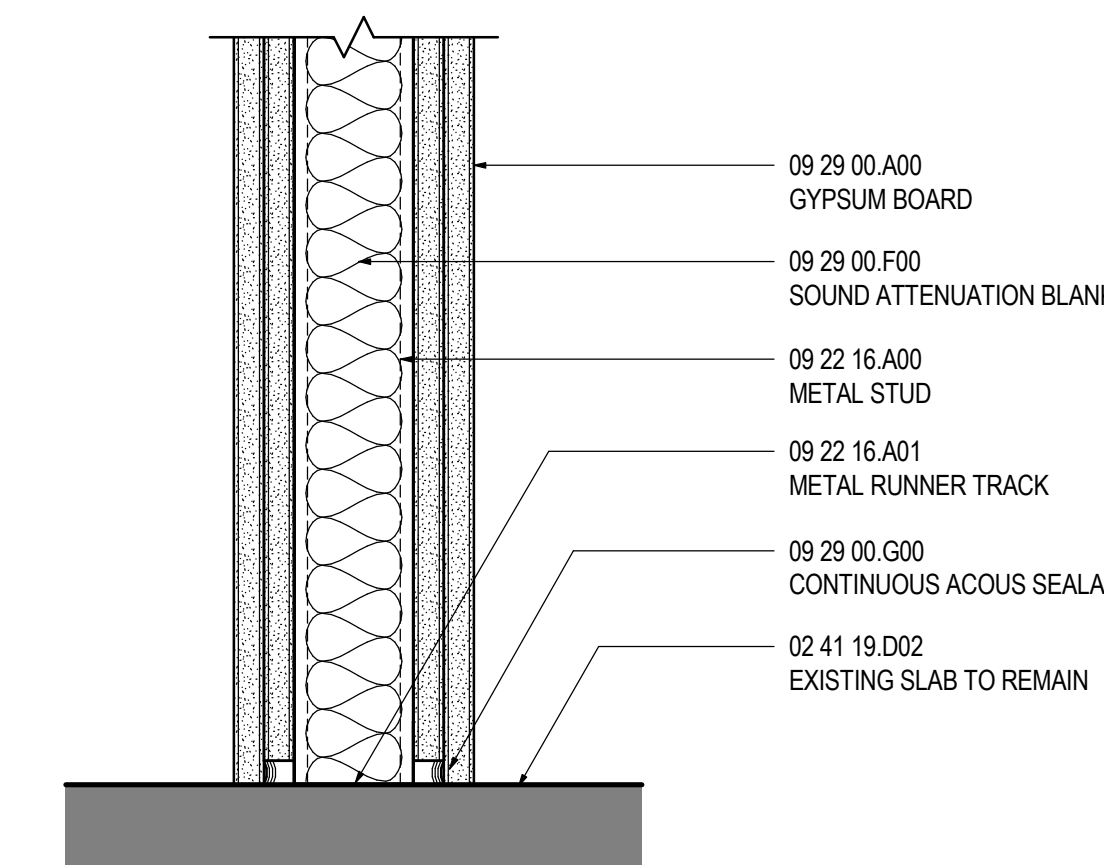
(1-HOUR RATED-BASIS OF DESIGN UL SYSTEM NO. U419)



**K B01**

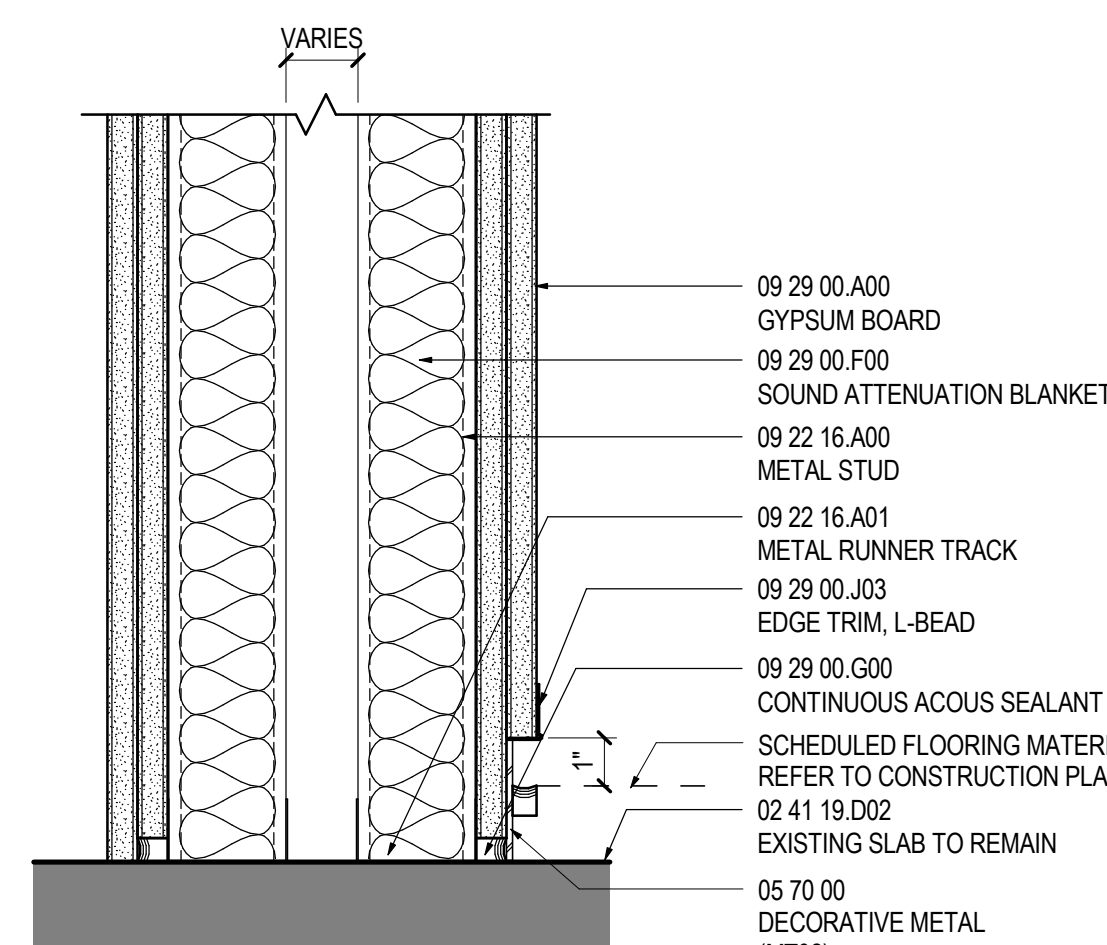


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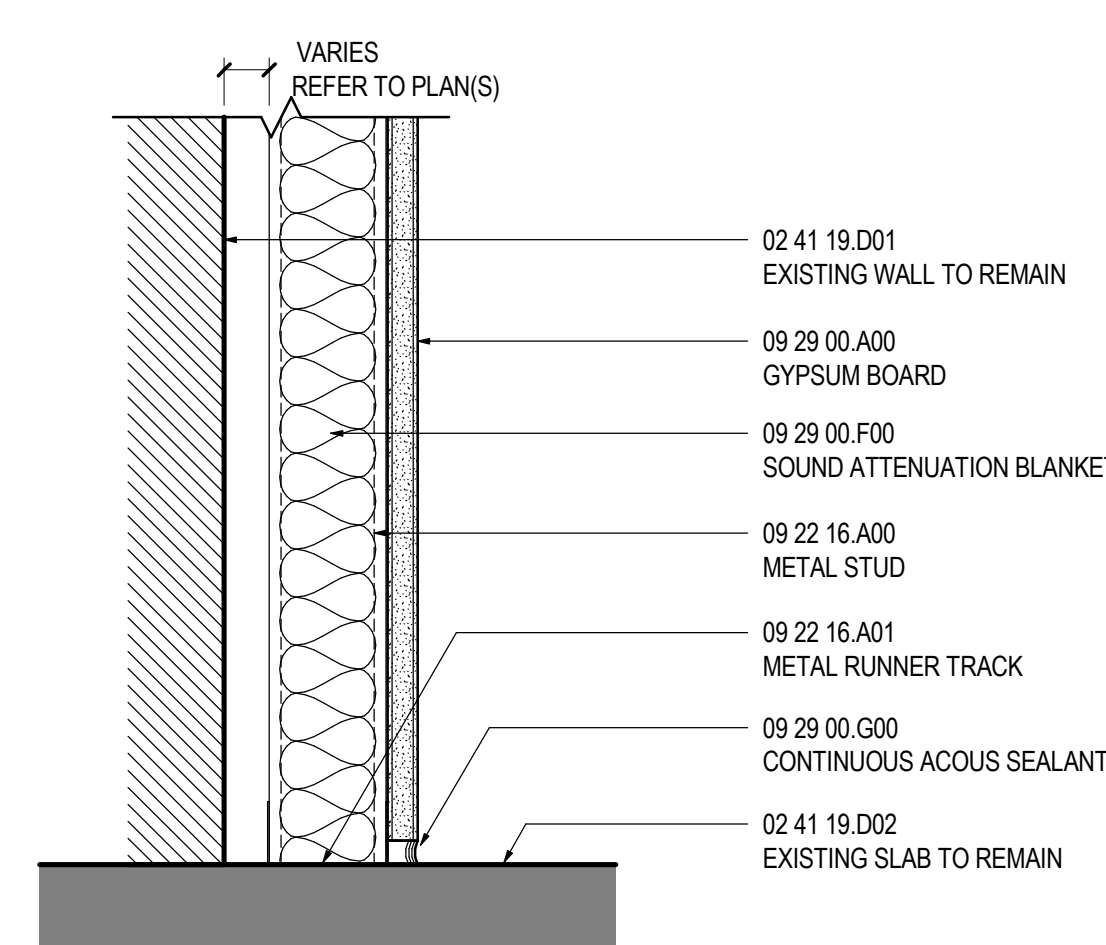


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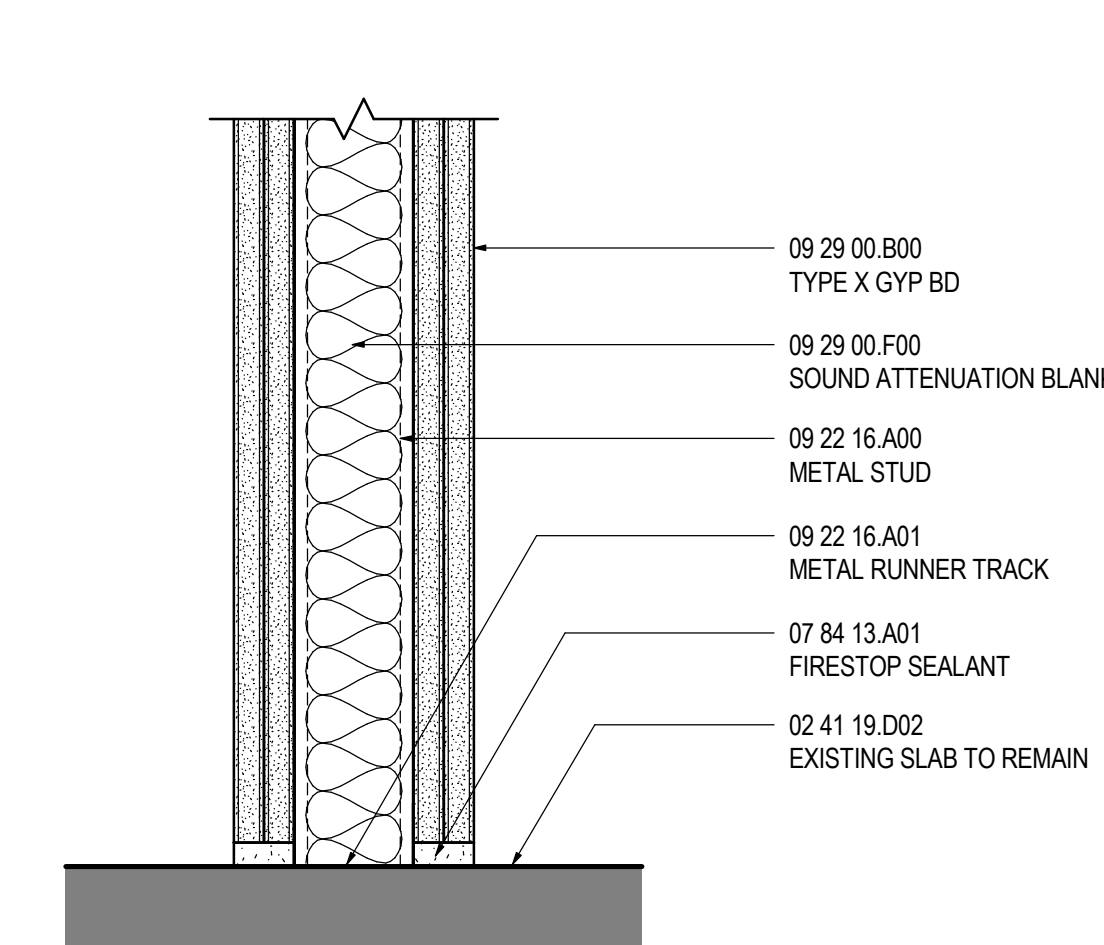
(1-HOUR RATED-BASIS OF DESIGN UL SYSTEM NO. U419)



**L B08**



**D B01**



**B B02**

(2-HOUR RATED-BASIS OF DESIGN UL SYSTEM NO. U419)

Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR  
CONSTRUCTION**

Project Name

Jackie Robinson Foundation

Project Number

06.6256.015

Description

BOTTOM OF WALL DETAILS

Scale

3" = 1'-0"

**A-040**

# DOOR OPENING SCHEDULE

NUMBER	OPENING		DOOR				FRAME				ASSEMBLY RATING	MISC.	REMARKS	
	LOCATION	TYPE	DIMENSIONS			MATERIAL	TYPE	MATERIAL	DETAILS		FIRE RATING	SETS		
			WIDTH	HEIGHT	THICKNESS				HEAD	JAMB				SILL
0G12B		3'	3'-0"	8'-0"										
01A07A	EXTERNAL	MM	6'-0"	8'-0"	0'-0 1/2"	GLMT	1	MT	-	-	06/A-942	3	MATCH EXISTING DOOR HEIGHT.	
01A07B	VESTIBULE	G/G	6'-0"	8'-0"	0'-0 1/2"	GL	4	-	01/A-942	-	02/A-942	4		
01C03	FORUM	G/G	6'-0"	8'-0"	0'-0 1/2"	GL	4	-	05/A-942	-	02/A-942	4		
01C04	FORUM	T	3'-0"	8'-0"	0'-2"	HM	1	HM	09/A-941	13/A-941	-	8	PAINTED TOTAL DOOR WITH INTEGRAL EXIT DEVICE	
01D02	CL	F	3'-0"	8'-0"	0'-2 1/2"	WD	1	WD	06/A-941	02/A-941	-	22		
01E03A	BACKPACKS	B	3'-6"	8'-0"	0'-2 1/2"	WD	4	-	12/A-941	16/A-941	-	24		
01E03B	BACKPACKS	B	3'-6"	8'-0"	0'-2 1/2"	WD	4	-	12/A-941	16/A-941	-	24		
01E03C	BACKPACKS	B	3'-6"	8'-0"	0'-2 1/2"	WD	4	-	12/A-941	16/A-941	-	24		
01E35	STORAGE	F	3'-0"	8'-0" VIF	0'-2 1/2"	WD	1	WD	10/A-941	14/A-941	-	21		
01E5A	STORAGE	F	3'-0"	8'-0"	0'-2 1/2"	WD	1	WD	10/A-941	14/A-941	-	21		
01E15B	STORAGE	F	3'-0"	8'-0"	0'-2 1/2"	WD	4	-	10/A-941	14/A-941	-	9		
01E26	VESTIBULE	G/G	6'-0"	8'-0"	0'-0 1/2"	GL	4	WD	01/A-942	-	02/A-942	1		
01F00	IT / AV	F	3'-0"	8'-0"	0'-2 1/2"	WD	1	WD	06/A-941	02/A-941	-	10		
01F02	ELEC. CL.	F/F	6'-0"	8'-0"	0'-2 1/2"	WD	1	WD	06/A-941	02/A-941	-	26		
01F03A	CORRIDOR	F	3'-2"	8'-0"	0'-2"	HM	1	HM	10/A-941	14/A-941	-	90 MIN		
01F04A	STAFF LOUNGE	F	3'-0"	8'-0"	0'-2 1/2"	WD	1	WD	06/A-941	02/A-941	-	12		
01F04B	STAFF LOUNGE	F	3'-0"	7'-0"	0'-2"	HM	1	HM	10/A-941	14/A-941	-	23		
01F08	COATS	F	3'-0"	8'-0"	0'-2 1/2"	WD	4	-	10/A-941	14/A-941	-	9		
01F14A	VESTIBULE	G/G	6'-0"	8'-0"	0'-0 1/2"	GL	4	-	05/A-942	-	02/A-942	1		
01F14B	EXTERNAL	MM	6'-0"	8'-0"	0'-0 1/2"	GLMT	1	MT	-	-	06/A-942	2	MATCH EXISTING DOOR HEIGHT.	
01G01	WOMENS	F	3'-0"	8'-0"	0'-2 1/2"	WD	1	WD	06/A-941	02/A-941	-	19		
01G04	JAN. CL.	F	3'-0"	8'-0"	0'-2 1/2"	WD	1	WD	06/A-941	02/A-941	-	27		
01G11	TICKETING	B	3'-6"	8'-0"	0'-2 1/2"	WD	4	-	12/A-941	16/A-941	-	25		
01G12	COATS	B	3'-6"	8'-0"	0'-2 1/2"	WD	4	-	12/A-941	16/A-941	-	25		
01G12A	TICKETING	F	3'-0"	8'-0"	0'-2 1/2"	WD	4	-	10/A-941	14/A-941	-	13		
01H02	WC	F	3'-0"	8'-0"	0'-2 1/2"	WD	1	WD	06/A-941	02/A-941	-	18		
01H10	MECH RM	F	3'-0"	7'-0"	0'-2"	HM	1	HM	09/A-941	13/A-941	-	14		
01J03	MENS	F	3'-0"	8'-0" VIF	0'-2 1/2"	WD	1	WD	06/A-941	02/A-941	-	19		
02A04A	MEETING ROOM	G/G	6'-0"	8'-6"	0'-0 1/2"	GL	4	-	01/A-942	-	02/A-942	5	RE-USE EXISTING DOOR AND HARDWARE. VIF DOOR DIMENSIONS AND COORDINATE WITH NEW SIDELIGHT GLASS.	
02A04B	MEETING ROOM	G/G	6'-0"	8'-6"	0'-0 1/2"	GL	4	-	01/A-942	-	02/A-942	5	RE-USE EXISTING DOOR AND HARDWARE. VIF DOOR DIMENSIONS AND COORDINATE WITH NEW SIDELIGHT GLASS.	
02A04C	CLOSET	I	3'-0"	10'-0"	0'-2 1/2"		4	-	07/A-941	03/A-941	08/A-941	6	DOOR TO RECEIVE GLO2 TO MATCH ADJACENT WALL. REFER TO FINISH SCHEDULE.	
02A04D	CLOSET	I	3'-0"	10'-0"	0'-2 1/2"		4	-	07/A-941	03/A-941	08/A-941	6	DOOR TO RECEIVE GLO2 TO MATCH ADJACENT WALL. REFER TO FINISH SCHEDULE.	
02C01	PRESS BOX	G	3'-0"	8'-6"	0'-0 1/2"	GL	1	MT	01/A-942	-	02/A-942	29	SOUND-RATED DOOR ASSEMBLY, REFER TO SPECIFICATIONS.	
02C07	RECEPTION AREA	G	3'-6"	8'-6"	0'-1"	GL	4	-	01/A-942	-	02/A-942	7		
02F01	ARCHIVES	F	3'-0"	8'-6"	0'-2 1/2"	WD	4	-	05/A-941	07/A-941	-	15		
02F07	ELEV. MACH. ROOM	F	3'-6"	7'-0"	0'-2"	HM	1	HM	11/A-941	15/A-941	-	90 MIN.		
02G03	ARCHIVES	L	3'-0"	8'-6"	0'-0 1/2"	GL	4	-	01/A-942	-	-	30	SLIDING DEMOUNTABLE SYSTEM DOOR. HARDWARE TO BE PROVIDED BY DEMOUNTABLE VENDOR.	
02H03	ARCHIVES	L	3'-0"	8'-6"	0'-0 1/2"	GL	4	-	01/A-942	-	-	30	SLIDING DEMOUNTABLE SYSTEM DOOR. HARDWARE TO BE PROVIDED BY DEMOUNTABLE VENDOR.	

## SHEET NOTES

**Jackie Robinson Museum**  
75 Varick Street  
New York, NY 10013

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Van Deusen & Associates  
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Suite 310  
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Tel: 973.994.5220

## GENERAL NOTES

Date	Description
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR CONSTRUCTION**

Project Name  
Jackie Robinson Foundation

Project Number  
06.6256.015

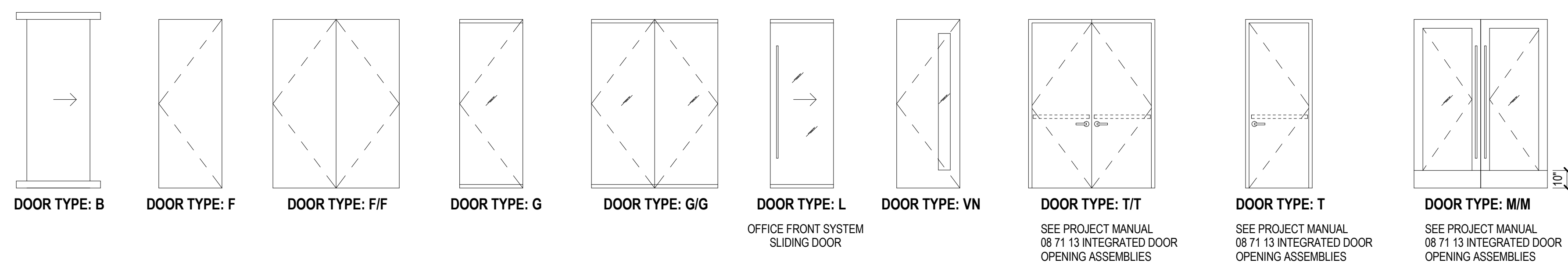
Description  
DOOR SCHEDULE - PHASE 2

Scale  
As indicated

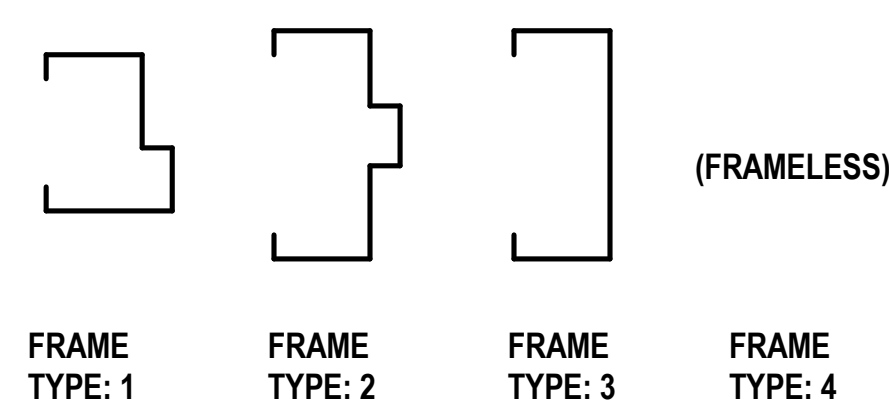
**A-051**

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## DOOR TYPES



## FRAME TYPES



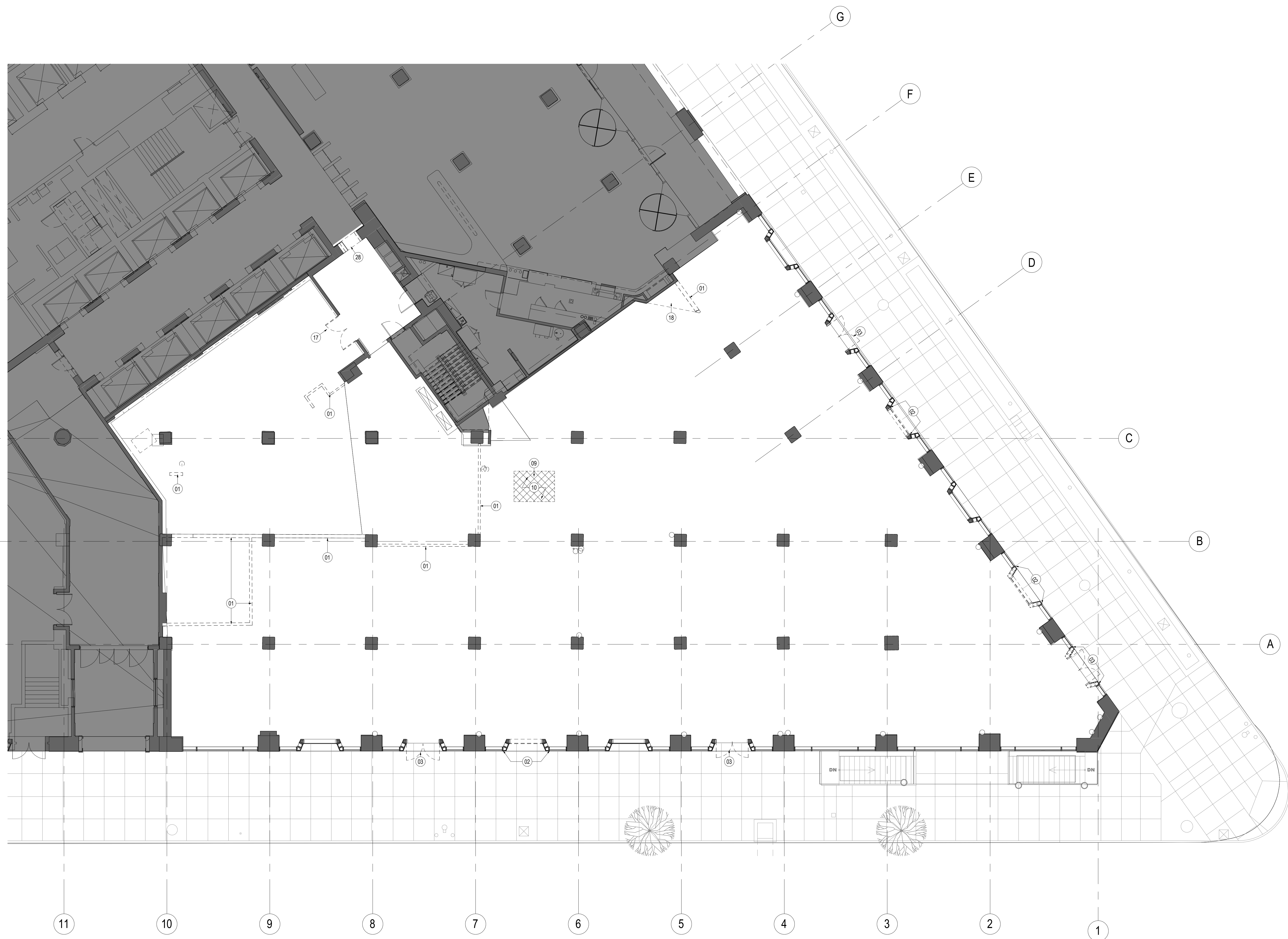
**GENERAL NOTES**

- A. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- B. PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT WORKERS AND OCCUPANTS OF THE BUILDING.
- C. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT THE SPREAD OF DUST, FUMES, SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. UPON COMPLETION OF WORK, REMOVE PARTITIONS AND REPAIR SURFACES DAMAGED TO MATCH ADJACENT SURFACES.
- D. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO ADDITIONAL COST TO THE OWNER.
- E. REMOVE FROM THE SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- F. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
- G. REMOVE ABANDONED HVAC EQUIPMENT INCLUDING DUCTWORK.
- H. REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, INCLUDING THE CONTENTS OF FLOOR CELL RACEWAY SYSTEMS, UNLESS OTHERWISE NOTED.
- I. REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED TO RECEIVE NEW FLOOR FINISHES, UNLESS OTHERWISE NOTED.
- J. REMOVE EXISTING CEILINGS, DUCTWORK, LIGHTING AND OTHER CEILING MOUNTED DEVICES, UNLESS OTHERWISE NOTED.
- K. REMOVE EXISTING PLUMBING FIXTURES AS INDICATED INCLUDING PLUMBING LINES BACK TO BUILDING RISERS.
- L. REFER TO MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND STRUCTURAL DRAWING FOR ADDITIONAL DEMOLITION INFORMATION FOR THOSE TRADES.
- M. FOR ALL ITEMS SCHEDULED FOR REMOVAL AND REINSTALLATION, CONTRACTOR SHALL VERIFY AND DOCUMENT, IN WRITING, THE CONDITION AND FUNCTIONALITY OF THE ITEM(S) PRIOR TO REMOVAL. ANY DAMAGE TO ITEM(S) NOT DOCUMENTED SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- N. REMOVE ALL EXISTING WINDOW FILM AND CLEAN/PREPARE TO RECEIVE NEW WINDOW FILM.

**SHEET NOTES**

- 01 DEMOLISH EXISTING WALL. PATCH AND REPAIR FLOOR, CEILING AND WALL SURFACES WHERE WALL HAS BEEN REMOVED. PROVIDE SMOOTH SURFACE TO MATCH ADJACENT FINISH.
- 02 REMOVE EXISTING STOREFRONT WINDOW AND STONE CLAD SILL. SALVAGE SILL FOR POSSIBLE RE-USE.
- 03 REMOVE EXISTING STOREFRONT DOOR, JAMB, HEAD & SILL. SALVAGE SILL FOR POSSIBLE RE-USE.
- 09 REMOVE/REROUTE EXISTING BASE BUILDING INFRASTRUCTURE IN CONFLICT WITH PROPOSED ELEVATOR SHAFT AND HANGING PIT. VERIFY IN FIELD.
- 10 SLAB OPENING FOR ELEVATOR SHAFT. REFER TO STRUCTURAL DRAWINGS.
- 17 REMOVE EXISTING DOOR, FRAME AND HARDWARE.
- 18 REMOVE RAISED SLAB DOWN TO LEVEL OF EXISTING SLAB.
- 28 WIDEN EXISTING OPENING. REFER TO CONSTRUCTION PLAN FOR MORE INFORMATION.

Date	Description
05/07/2018	SD FOR PRICING
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2



**NOT FOR CONSTRUCTION**

Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

Description  
**DEMOLITION PLAN - FLOOR 01**

Scale  
**1/8" = 1'-0"**

**DM-201**

**GENERAL NOTES**

- A. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- B. PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT WORKERS AND OCCUPANTS OF THE BUILDING.
- C. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT THE SPREAD OF DUST, FUMES, SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. UPON COMPLETION OF WORK, REMOVE PARTITIONS AND REPAIR SURFACES DAMAGED TO MATCH ADJACENT SURFACES.
- D. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO ADDITIONAL COST TO THE OWNER.
- E. REMOVE FROM THE SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- F. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
- G. REMOVE ABANDONED HVAC EQUIPMENT INCLUDING DUCTWORK.
- H. REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, INCLUDING THE CONTENTS OF FLOOR CELL RACEWAY SYSTEMS, UNLESS OTHERWISE NOTED.
- I. REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED TO RECEIVE NEW FLOOR FINISHES, UNLESS OTHERWISE NOTED.
- J. REMOVE EXISTING CEILINGS, DUCTWORK, LIGHTING AND OTHER CEILING MOUNTED DEVICES, UNLESS OTHERWISE NOTED.
- K. REMOVE EXISTING PLUMBING FIXTURES AS INDICATED INCLUDING PLUMBING LINES BACK TO BUILDING RISERS.
- L. REFER TO MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND STRUCTURAL DRAWING FOR ADDITIONAL DEMOLITION INFORMATION FOR THOSE TRADES.
- M. FOR ALL ITEMS SCHEDULED FOR REMOVAL AND REINSTALLATION, CONTRACTOR SHALL VERIFY AND DOCUMENT, IN WRITING, THE CONDITION AND FUNCTIONALITY OF THE ITEM(S) PRIOR TO REMOVAL. ANY DAMAGE TO ITEM(S) NOT DOCUMENTED SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- N. REMOVE ALL EXISTING WINDOW FILM AND CLEAN/PREPARE TO RECEIVE NEW WINDOW FILM.

**SHEET NOTES**

- 04 EXISTING OPERABLE WALL TO REMAIN AND BE PROTECTED.
- 05 EXISTING FURNITURE TO BE REMOVED AND STORED. COORDINATE STORAGE WITH OWNER.
- 06 REMOVE EXISTING AV DISPLAY AND ALL ASSOCIATED CABLING. SALVAGE EQUIPMENT AND COORDINATE STORAGE WITH OWNER.
- 10 SLAB OPENING FOR ELEVATOR SHAFT. REFER TO STRUCTURAL DRAWINGS.
- 11 SLAB OPENING FOR STAIR. REFER TO STRUCTURAL DRAWINGS.
- 12 REMOVE EXISTING WOOD FLOORING AND SUBFLOOR, FOR ELEVATOR MACHINE ROOM. REFER TO CONSTRUCTION PLAN FOR MORE INFORMATION.
- 15 REMOVE EXISTING EQUIPMENT AND COORDINATE WITH OWNER FOR STORAGE.
- 23 EXISTING WOOD FLOOR TO REMAIN AND BE PROTECTED.
- 24 REMOVE ALL PANTRY PLUMBING FIXTURES AND ROUGH-INS BACK TO RISERS. REMOVE ALL FLOORING, SUBSTRATE, MILLWORK, WALLS, BACKERBOARDS INCLUDING STUDS, CEILING SUPPORTS AND LIGHT FIXTURES. SALVAGE ALL EQUIPMENT.
- 29 REMOVE EXISTING GLASS DOORS, HARDWARE AND SALVAGE FOR REINSTALLATION. REFER TO CONSTRUCTION PLAN.

△ Date	Description
05/07/2018	SD FOR PRICING
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2



**NOT FOR  
CONSTRUCTION**

Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

Description  
**DEMOLITION PLAN - FLOOR 2 - PHASE 2**

Scale  
**1/8" = 1'-0"**

**DM-202**



**GENERAL NOTES**

- A. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- B. PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT WORKERS AND OCCUPANTS OF THE BUILDING.
- C. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT THE SPREAD OF DUST, FUMES, SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. UPON COMPLETION OF WORK, REMOVE PARTITIONS AND REPAIR SURFACES DAMAGED TO MATCH ADJACENT SURFACES.
- D. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO ADDITIONAL COST TO THE OWNER.
- E. REMOVE FROM THE SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- F. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
- G. REMOVE ABANDONED HVAC EQUIPMENT INCLUDING DUCTWORK.
- H. REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, INCLUDING THE CONTENTS OF FLOOR CELL RACEWAY SYSTEMS, UNLESS OTHERWISE NOTED.
- I. REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED TO RECEIVE NEW FLOOR FINISHES, UNLESS OTHERWISE NOTED.
- J. REMOVE EXISTING CEILINGS, DUCTWORK, LIGHTING AND OTHER CEILING MOUNTED DEVICES, UNLESS OTHERWISE NOTED.
- K. REMOVE EXISTING PLUMBING FIXTURES AS INDICATED INCLUDING PLUMBING LINES BACK TO BUILDING RISERS.
- L. REFER TO MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND STRUCTURAL DRAWING FOR ADDITIONAL DEMOLITION INFORMATION FOR THOSE TRADES.
- M. FOR ALL ITEMS SCHEDULED FOR REMOVAL AND REINSTALLATION, CONTRACTOR SHALL VERIFY AND DOCUMENT, IN WRITING, THE CONDITION AND FUNCTIONALITY OF THE ITEM(S) PRIOR TO REMOVAL. ANY DAMAGE TO ITEM(S) NOT DOCUMENTED SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- N. REMOVE ALL EXISTING WINDOW FILM AND CLEAN/PREPARE TO RECEIVE NEW WINDOW FILM.

**SHEET NOTES**

- 11 REFER TO ENGINEERS DRAWINGS FOR REMOVAL OF EXISTING MEP EQUIPMENT.

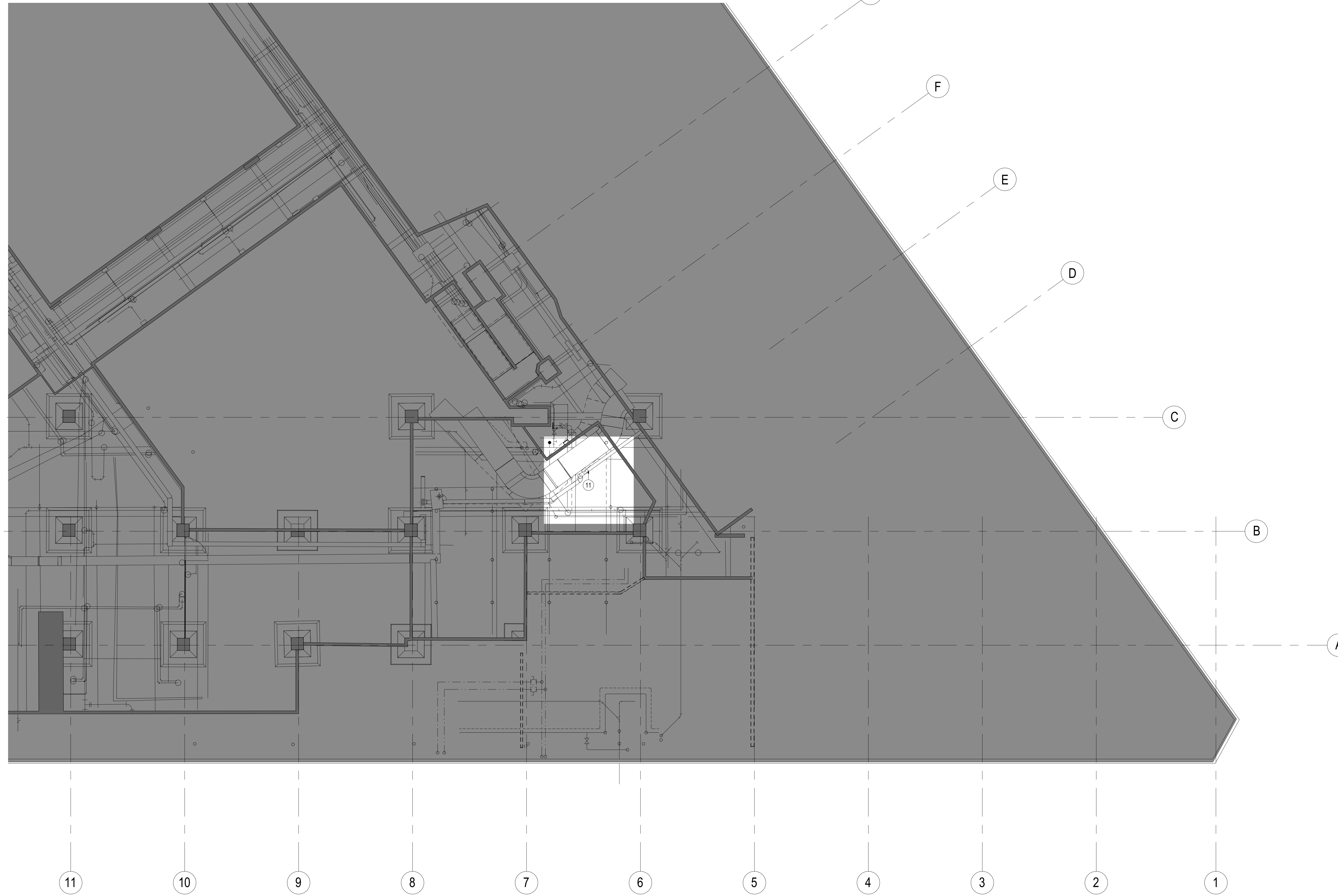
△ Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR CONSTRUCTION**

Project Name	Jackie Robinson Foundation
Project Number	06.6256.015
Description	DEMOLITION REFLECTED CEILING PLAN - CELLAR

Scale  
1/8" = 1'-0"

**DM-400**



**GENERAL NOTES**

- A. REFER TO ENGINEER'S DRAWINGS FOR MEP/FP SCOPE OF WORK.
- B. REFER TO LIGHTING SPECIFICATIONS.
- C. REFER TO EXHIBIT DESIGNERS DRAWINGS FOR MORE INFORMATION.
- D. VERIFY ALL EXISTING CEILING HEIGHTS WITH ELEVATION TAGS PRIOR TO CONSTRUCTION OF NEW CEILING.
- E. EXISTING EXISTING LIGHT FIXTURES TO BE RE-LAMPED WITH LED BULBS.
- F. PAINT ALL SLAB SURFACES AND INFRASTRUCTURE ABOVE CEILING, INCLUDING DUCTWORK AND SPRINKLERS.

**Jackie Robinson Museum**  
 75 Varick Street  
 New York, NY 10013

**Gensler**

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Van Deusen & Associates  
 Vertical Transportation Consultant  
 120 Eagle Rock Avenue  
 Suite 310  
 East Hanover, NJ 07936  
 Tel: 973.994.9220

**SHEET NOTES**

- 14 REMOVE ALL EXISTING CEILING FINISHES, FIXTURES AND DEVICES. REFER TO ENGINEER'S DRAWINGS FOR MORE INFORMATION.

Date	Description
05/07/2018	SD FOR PRICING
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR CONSTRUCTION**

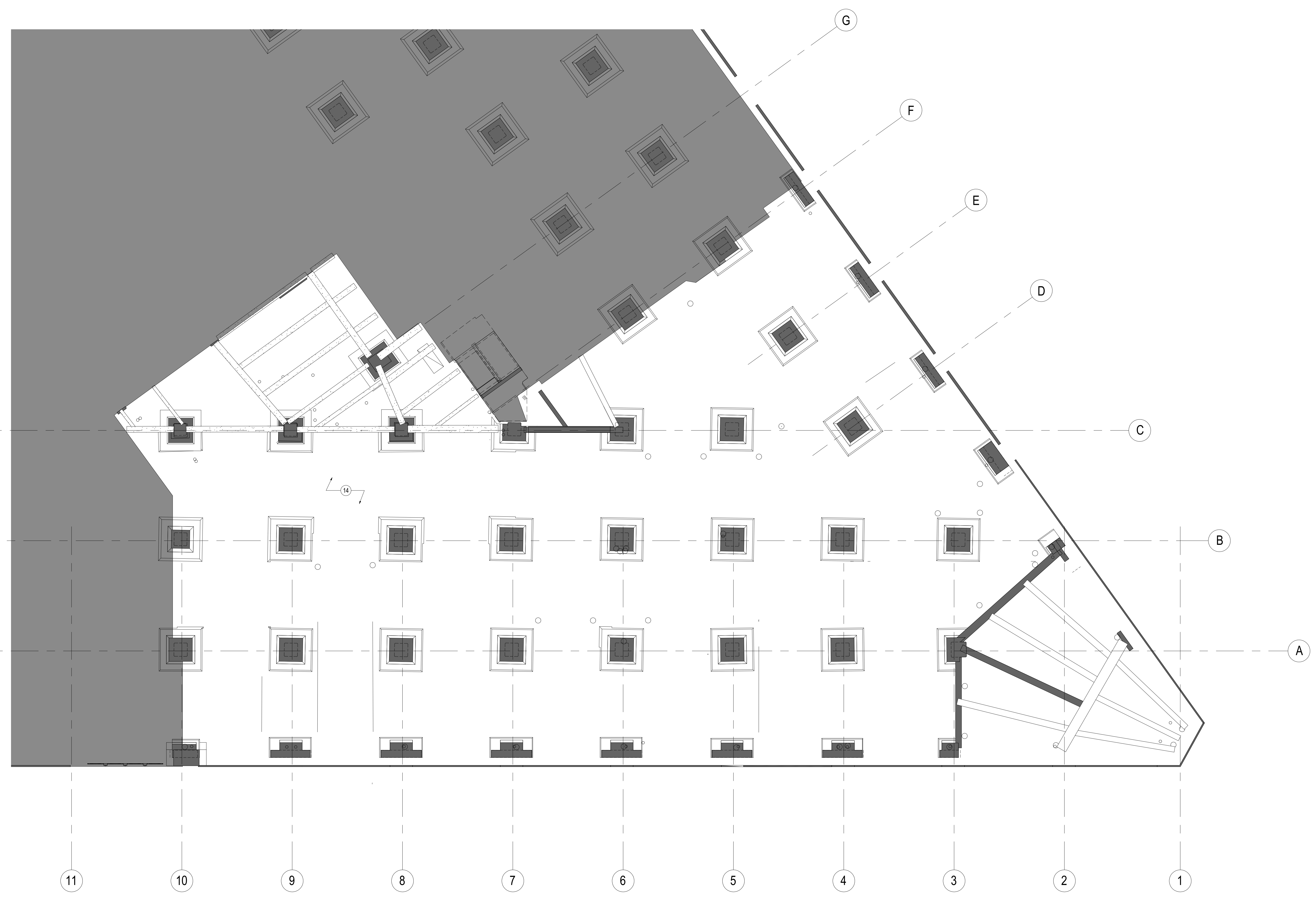
Project Name  
 Jackie Robinson Foundation

Project Number  
 06.6256.015

Description  
 DEMOLITION REFLECTED CEILING PLAN - FLOOR 1

Scale  
 As indicated

**DM-401**



**GENERAL NOTES**

- A. REFER TO ENGINEER'S DRAWINGS FOR MEP/FP SCOPE OF WORK.
- B. REFER TO LIGHTING SPECIFICATIONS.
- C. REFER TO EXHIBIT DESIGNERS DRAWINGS FOR MORE INFORMATION.
- D. VERIFY ALL EXISTING CEILING HEIGHTS WITH ELEVATION TAGS PRIOR TO CONSTRUCTION OF NEW CEILING.
- E. EXISTING EXISTING LIGHT FIXTURES TO BE RE-LAMPED WITH LED BULBS.
- F. PAINT ALL SLAB SURFACES AND INFRASTRUCTURE ABOVE CEILING, INCLUDING DUCTWORK AND SPRINKLERS.

**Jackie Robinson Museum**  
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Tel: 212.370.1776

Van Deusen & Associates  
Vertical Transportation Consultant  
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East Hanover, NJ 07936  
Tel: 973.994.9220

**SHEET NOTES**

- 02 REMOVE EXISTING CEILING FINISHES AND LIGHT FIXTURES. REFER TO ENGINEERS DRAWINGS FOR MEP SCOPE OF WORK.
- 05 REMOVE GYPSUM CEILING SOFFIT
- 08 EXISTING GWB CEILING TO REMAIN.
- 13 EXISTING OPERABLE WALL TO REMAIN AND BE PROTECTED.

Date	Description
05/07/2018	SD FOR PRICING
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR CONSTRUCTION**

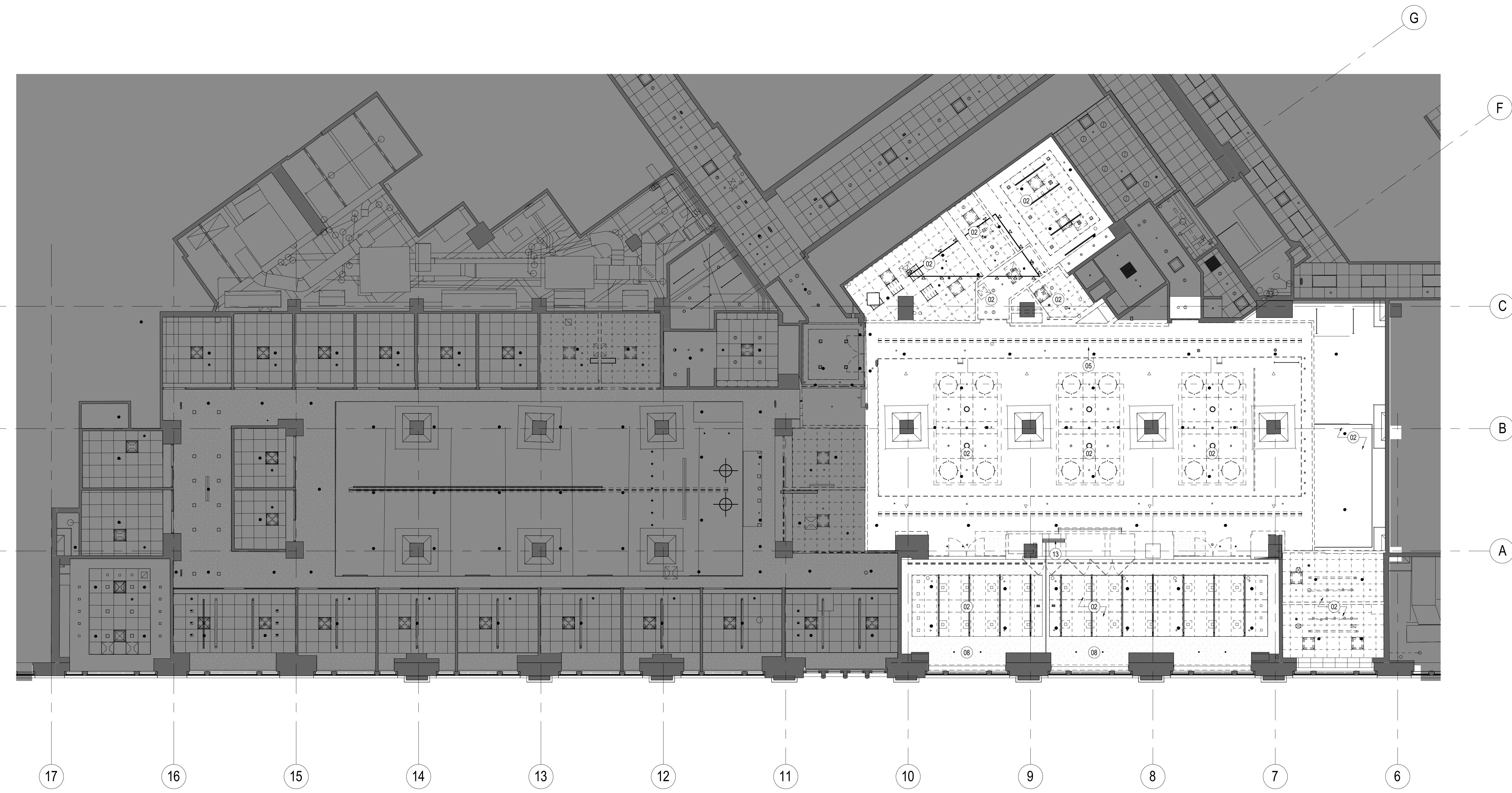
Project Name  
Jackie Robinson Foundation

Project Number  
06.6256.015

Description  
DEMOLITION REFLECTED CEILING PLAN - FLOOR 2 - PHASE 2

Scale  
As indicated

**DM-402**



**GENERAL NOTES**

- A. ALL DIMENSIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR" OR "HOLD." ALLOW FOR THICKNESS OF FINISHES.
- B. COORDINATE AND PROVIDE BLOCKING WITHIN PARTITIONS FOR ALL MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- C. UNDERCUT OF DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4" UNLESS OTHERWISE NOTED.
- D. ALL INTERIOR GLAZING TO BE SAFETY GLAZING IN ACCORDANCE WITH APPLICABLE CODES.
- E. MARK THE LOCATION OF ALL PARTITIONS ON THE SLAB FOR REVIEW BY THE ARCHITECT PRIOR TO INSTALLATION. REVIEW SHALL BE FOR DESIGN INTENT. CONTRACTOR TO VERIFY ALL CONDITIONS IN ORDER TO ENSURE PROPER FIT.
- F. ALL PARTITIONS SHALL BE PERPENDICULAR OR PARALLEL TO BUILDING CORE WALLS, UNLESS OTHERWISE NOTED.
- G. HINGE FACE OF ALL DOOR OPENINGS SHALL BE LOCATED 9" FROM ADJACENT PERPENDICULAR WALL, UNLESS OTHERWISE NOTED.
- H. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION. (REVIEW WITH ARCHITECT IN THE FIELD).
- I. REPAIR AND/OR RESTORE ALL EXISTING FIREPROOFING DAMAGED DUE TO DEMOLITION AND NEW WORK. FIREPROOFING SHALL BE AS REQUIRED TO MAINTAIN EXISTING FIRE PROTECTION RATING.
- J. PATCH AND REPAIR ALL EXISTING AND/OR NEW PENETRATIONS THROUGH EXISTING FIRE RATED SLABS AND PARTITIONS, AS REQUIRED, TO MAINTAIN EXISTING FIRE PROTECTION RATING.
- K. PATCH, REPAIR AND PREP ALL EXISTING WALLS, COLUMNS, FLOORS AND CEILINGS SCHEDULED TO REMAIN AS REQUIRED TO LEAVE THEM SMOOTH AND EVEN TO RECEIVE NEW SCHEDULED FINISHES. REFER TO FINISH PLAN FOR ADDITIONAL INFORMATION.
- L. ALL GWB WALLS IN PUBLIC AREAS TO RECEIVE LEVEL 5 FINISH.
- M. REFER TO EXHIBIT DESIGNER'S DRAWINGS FOR MORE INFORMATION.
- N. REFER TO ENGINEER'S DRAWINGS FOR MORE INFORMATION.
- O. REFER TO FINISH PLAN AND SCHEDULE.
- P. EXISTING INTERIOR STOREFRONT FRAMES TO BE REFINISHED, COLOR TBD.
- Q. EXISTING FLOOR SLAB TO BE PATCHED, LEVELED AND PREPARED TO RECEIVE SCHEDULED FINISHES.
- R. PROVIDE WATERPROOFING MEMBRANE AT ALL WASHROOMS/JANITOR'S CLOSET. REFER TO PROJECT MANUAL FOR MORE INFORMATION.

**SHEET NOTES**

- 01 2-HR RATED SHAFT WALLS FOR NEW ELEVATOR. REFER TO ELEVATOR CONSULTANT'S DRAWINGS.
- 02 NEW FACTORY PAINTED/ANODIZED ALUMINUM AND GLASS DOOR ENTRANCE STOREFRONT. RECESSED FLOOR CLOSER, PANIC DEVICE, INTEGRATED WITH SECURITY SYSTEM. REFER TO DOOR & HARDWARE SCHEDULE. REPAIR/REPLACE SIDEWALK CAST-IN PLACE CONCRETE SIDEWALK AS REQUIRED.
- 03 NEW STOREFRONT AND STONE CLAD SILL TO MATCH ADJACENT EXISTING STOREFRONT. REPAIR/REPLACE CAST-IN PLACE CONCRETE SIDEWALK AS REQUIRED. REFER TO SPEC SECTION 08 41 13.
- 04 PROVIDE GWB HEADER ABOVE CEILING FOR PERIMETER POLYCARBONATE WALL SYSTEM WITH INTEGRATED ACCESS DOOR AND SUPPORT FRAMING - EXTECH SERIES 3440 OR EQUAL. REFER TO SCRM WALL BID PACKAGE.
- 05 PROVIDE STAINLESS STEEL GRATING AT FLOOR BETWEEN SCRM WALL AND PERIMETER WALLS. REFER TO SPEC SECTION 124816.
- 06 MILLWORK SOLID SURFACE COUNTERTOP AND FASCIA.
- 07 PROVIDE MILLWORK SHELF AND COAT ROD.
- 08 REFER TO STAIR BID PACKAGE.
- 09 DISPLAY CASE TO BE PART OF EXHIBIT SCOPE. REFER TO EXHIBIT DESIGNER'S DRAWINGS.
- 10 NEW CAST-IN-PLACE CONCRETE RAMP.
- 11 NEW RAISED FLOOR SLAB (LIGHTWEIGHT CONCRETE ON RIGID INSULATION) TO PROVIDE LEVEL FLOOR SURFACE. VERIFY IN FIELD LINE OF FLOOR ELEVATION CHANGE. REFER TO STRUCTURAL DRAWINGS.
- 12 FIXED MILLWORK BLEACHERS.
- 13 PROVIDE TILED FLOOR, TILED WALLS, FLOOR MOUNTED SERVICE SINK AND WALL MOUNTED FAUCET. REFER TO PLUMBING AND FINISH SCHEDULE.
- 14 HI-LO DRINKING FOUNTAIN - PF12. REFER TO PLUMBING FIXTURE SCHEDULE AND ENGINEER'S DRAWINGS.
- 15 PROVIDE STEEL SUPPORT STRUCTURE ABOVE CEILING AS REQUIRED FOR CEILING-HUNG TOILET PARTITIONS. REFER TO SPEC SECTION 05 50 00.
- 24 EXISTING STOREFRONT TO BE REMOVED FROM EXISTING FRAMING, RE-GASKETED AND REINSTALLED. FRAMES TO BE REFINISHED AS REQUIRED.
- 32 NEW CONC. SIDEWALK AS REQUIRED FOR DOOR SADDLE TRANSITION.
- 33 STRIP EXISTING EXPOSED PERIMETER COLUMN AND WALL SURFACES. SKIM COAT AND RE-PAIN.
- 40 PROVIDE RECESSED FIRE EXTINGUISHER CABINET. REFER TO SPEC SECTION 104400.
- 41 PROVIDE B3A PARTITION TYPE HEADER ABOVE GLASS WALL.
- 42 FRAME WALL TIGHT TO EXISTING DUCTS/PIPES.
- 43 STAINLESS STEEL ENTRANCE FLOOR GRILLE. INSET TO BE FLUSH WITH TERRAZZO FLOOR. REFER TO SPEC SECTION 124816.
- 48 SCRM WALL DOOR - INTEGRAL TO WALL SYSTEM. PROVIDE ADDITIONAL GWB LAYER ON EXISTING WALL TO ALLOW FOR 2 HR. ENCLOSURE.
- 50 PROVIDE ADDITIONAL GWB LAYER WITH GALLERY BASE. SIMILAR TO BOB CONDITION.
- 51 PROVIDE COAT CAROUSELS (2) AT 12' LENGTH, WHITE CONVEYORS DOUBLE DECK STOR-U-VEYOR OR SIMILAR.
- 52 PERIMETER FIN TUBE RADIATOR. REFER TO ENGINEER'S DRAWINGS FOR MORE INFORMATION.
- 56 PROVIDE BLOCKING ABOVE CEILING FOR BACKPACKS SHELVING SYSTEM. BY FURNITURE VENDOR.
- 59 WIDEN OPENING PATCH AND REPAIR WALL TO MATCH EXISTING ADJACENT FINISHES.
- 60 PROVIDE 2-HR RATED PARTITION TO INFILL OPENING AT REMOVED DOOR.
- 61 MODIFY EXISTING PARTITION AS REQUIRED TO PROVIDE 2-HR RATING.
- 65 BENCH - PART OF EXHIBIT SCOPE.
- 66 EXTERIOR LOUVER LOCATION. REFER TO BUILDING ELEVATION ON A-700 AND ENGINEER'S DWGS.

**NOT FOR CONSTRUCTION**

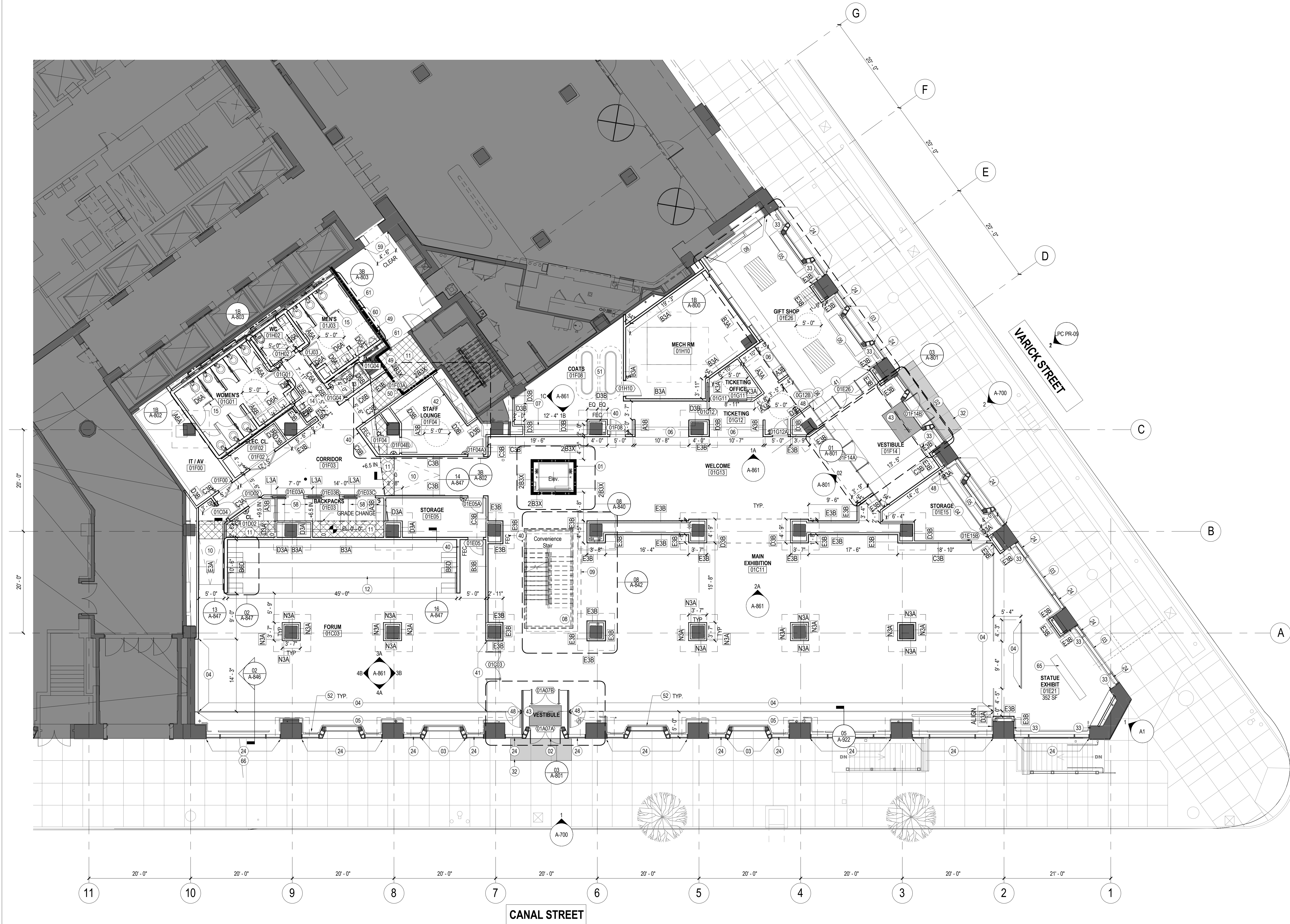
Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

Description  
**CONSTRUCTION PLAN - FLOOR 01**

Scale  
**1/8" = 1'-0"**

**A-201**



**GENERAL NOTES**

- A. ALL DIMENSIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR" OR "HOLD." ALLOW FOR THICKNESS OF FINISHES.
- B. COORDINATE AND PROVIDE BLOCKING WITHIN PARTITIONS FOR ALL MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- C. UNDERCUT OF DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4" UNLESS OTHERWISE NOTED.
- D. ALL INTERIOR GLAZING TO BE SAFETY GLAZING IN ACCORDANCE WITH APPLICABLE CODES.
- E. MARK THE LOCATION OF ALL PARTITIONS ON THE SLAB FOR REVIEW BY THE ARCHITECT PRIOR TO INSTALLATION. REVIEW SHALL BE FOR DESIGN INTENT. CONTRACTOR TO VERIFY ALL CONDITIONS IN ORDER TO ENSURE PROPER FIT.
- F. ALL PARTITIONS SHALL BE PERPENDICULAR OR PARALLEL TO BUILDING CORE WALLS, UNLESS OTHERWISE NOTED.
- G. HINGE FACE OF ALL DOOR OPENINGS SHALL BE LOCATED 6" FROM ADJACENT PERPENDICULAR WALL, UNLESS OTHERWISE NOTED.
- H. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION. (REVIEW WITH ARCHITECT IN THE FIELD)
- I. REPAIR AND/OR RESTORE ALL EXISTING FIREPROOFING DAMAGED DUE TO DEMOLITION AND NEW WORK. FIREPROOFING SHALL BE AS REQUIRED TO MAINTAIN EXISTING FIRE PROTECTION RATING.
- J. PATCH AND REPAIR ALL EXISTING AND/OR NEW PENETRATIONS THROUGH EXISTING FIRE RATED SLABS AND PARTITIONS, AS REQUIRED, TO MAINTAIN EXISTING FIRE PROTECTION RATING.
- K. PATCH, REPAIR AND PREP ALL EXISTING WALLS, COLUMNS, FLOORS AND CEILINGS SCHEDULED TO REMAIN AS REQUIRED TO LEAVE THEM SMOOTH AND EVEN TO RECEIVE NEW SCHEDULED FINISHES. REFER TO FINISH PLAN FOR ADDITIONAL INFORMATION.
- L. ALL GWB WALLS IN PUBLIC AREAS TO RECEIVE LEVEL 5 FINISH.
- M. REFER TO EXHIBIT DESIGNER'S DRAWINGS FOR MORE INFORMATION.
- N. REFER TO ENGINEER'S DRAWINGS FOR MORE INFORMATION.
- O. REFER TO FINISH PLAN AND SCHEDULE.
- P. EXISTING INTERIOR STOREFRONT FRAMES TO BE REFINISHED. COLOR TBD.
- Q. EXISTING FLOOR SLAB TO BE PATCHED, LEVELLED AND PREPARED TO RECEIVE SCHEDULED FINISHES.
- R. PROVIDE WATERPROOFING MEMBRANE AT ALL WASHROOMS/JANITOR'S CLOSET. REFER TO PROJECT MANUAL FOR MORE INFORMATION.

**SHEET NOTES**

- 01 2-HR RATED SHAFT WALLS FOR NEW ELEVATOR. REFER TO ELEVATOR CONSULTANT'S DRAWINGS.
- 02 REFER TO STAIR BID PACKAGE.
- 03 DISPLAY CASE TO BE PART OF EXHIBIT SCOPE. REFER TO EXHIBIT DESIGNER'S DRAWINGS.
- 04 PROVIDE BLOCKING FOR WALL MOUNTED AV DISPLAY. REFER TO AV DRAWINGS.
- 05 PROVIDE MOISTURE VAPOR BARRIER SYSTEM FOR WALLS AND CEILING. REFER TO SECTION 099123. FOR FLOOR, REFER TO SECTION 096813.
- 06 EXISTING WOOD FLOORING TO BE REFINISHED TO MATCH ARCHITECT'S SAMPLE.
- 07 PROVIDE NEW WOOD FLOORING. FINISH TO MATCH ARCHITECT'S SAMPLE. VERIFY IN FIELD EXTENT OF EXISTING WOOD FLOORING.
- 08 EXISTING OPERABLE WALL TO REMAIN AND BE PROTECTED.
- 09 PROVIDE ESA PARTITION TYPE HEADER ABOVE GLASS WALL.
- 10 EXISTING DOOR TO REMAIN.
- 11 SOUND RATED GLASS WALL AND DOOR SYSTEM. REFER TO SPEC SECTION 08 34 73.
- 12 NEW AV DISPLAY AT EXISTING DISPLAY LOCATION. REFER TO AV DRAWINGS FOR MORE INFORMATION.
- 13 REINSTALL REMOVED DEMOUNTABLE PARTITION HARDWARE FROM PHASE 1. SHIMCUT INTO EXISTING WALLS AS REQUIRED TO FIT REINSTALLED DEMOUNTABLE PARTITIONS. ENGAGE CLESTRA VENDOR FOR INSTALLATION. CLESTRA CONTACT INFO: MATTHEW ANDERSEN (M.ANDERSEN@CLESTRA.COM, 267-885-5745)
- 14 EXTERIOR LOUVER LOCATION. REFER TO BUILDING ELEVATION A-700 AND ENGINEER'S DWGS.
- 15 RE-INSTALL EXISTING DOORS AND HARDWARE. VIF DOOR DIMENSIONS AND COORDINATE WITH NEW SIELITE GLASS. PATCH WOOD FLOORING WHERE DOOR CLOSER HAS BEEN RELOCATED.



**NOT FOR CONSTRUCTION**

Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

Description  
**CONSTRUCTION PLAN - FLOOR 02 - PHASE 2**

Scale  
**1/8" = 1'-0"**

**A-202**



**GENERAL NOTES**

- A. COORDINATE INSTALLATION OF TELECOMMUNICATIONS, DATA, AUDIO-VISUAL AND SECURITY SYSTEMS.
- B. VERIFY EQUIPMENT SPECIFICATIONS, POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION.
- C. MOUNT STANDARD WALL OUTLETS, STROBES, THERMOSTATS AND OTHER DEVICES AS INDICATED ON THE STANDARD MOUNTING HEIGHT ELEVATIONS, UNLESS OTHERWISE NOTED. ALL LOCATIONS TO BE CONFIRMED BY THE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION.
- D. INDICATED DIMENSIONS ARE TO THE CENTERLINE OF AN INDIVIDUAL OUTLET OR TO THE CENTERLINE OF A CLUSTER OF OUTLETS AND INDICATE A NEW OUTLET CLUSTER, UNLESS OTHERWISE NOTED.
- E. INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES, UNLESS OTHERWISE NOTED. DO NOT INSTALL BACK-TO-BACK.
- F. PROVIDE MATCHING "LEVITON DECORA SERIES" TYPE COVER PLATES, RECEPTACLES AND RELATED ITEMS. COLOR: WHITE, UNLESS OTHERWISE NOTED. PROVIDE ALL DEVICES UNDER A COMMON FACEPLATE, UNLESS OTHERWISE NOTED.
- G. ARCHITECTURAL DRAWINGS ONLY INDICATE DEVICE LOCATIONS FOR ELECTRICAL, TELECOMMUNICATION, AUDIO-VISUAL AND SECURITY DEVICES. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, FOR COMPLYING WITH ALL APPLICABLE CODES, FOR PROPER SIZING AND CIRCUITING OF WORK AND FOR PROVIDING RECORD "AS-BUILT" DRAWINGS.
- H. FOR ALL LOCATIONS OF CORE DRILLS, OUTLET DEVICES ARE TO BE FLUSH WITH FINISHED FLOOR, UNLESS OTHERWISE NOTED. PRIOR TO CORING OF SLAB, COORDINATE LAYOUT OF ALL FURNITURE ITEMS AND PARTITIONS ON THE SLAB. REVIEW ALL LOCATIONS WITH ARCHITECT AND COORDINATE LOCATIONS WITH OWNER/CLIENT.
- I. FURNITURE IS INDICATED FOR GENERAL REFERENCE ONLY.
- J. ALL ELECTRIC LOCKSETS, ELECTRIC STRIKES AND/OR MAGNETIC LOCKS, IN THE PATH OF EGRESS, SHALL BE TIED TO THE BUILDING FIRE ALARM SYSTEM. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- K. EXISTING POWER/COMM LOCATIONS ARE NOT DIMENSIONED BUT SHOWN FOR REFERENCE ONLY. VERIFY LOCATIONS IN FIELD.

**SHEET NOTES**

- 01 POWER/DATA/AV CONDUITS TO BE CONCEALED IN COLUMN ENCLOSURE TO EXHIBIT REQUIREMENTS - REFER TO EXHIBIT DESIGN DRAWINGS FOR LOCATION.
- 02 EXISTING STUB UP THROUGH SLAB TO REMAIN. VERIFY POSITION IN FIELD.
- 03 EXISTING STUB UP TO BE CAPPED. REFER TO ENGINEER'S DRAWINGS FOR MORE INFORMATION.
- 04 ABOVE CEILING SERVICE TO IN-CEILING CLIMATE CONTROL SYSTEM.
- 15 REFER TO SECURITY DRAWINGS FOR MORE INFORMATION.
- 16 RELOCATE EXISTING POWER/DATA OUTLETS TO MATCH DESK OUTLET HEIGHTS.
- 17 NOT IN SCOPE - DOOR PART OF PHASE 1.
- 21 EXISTING POWER/DATA/AV CONNECTIONS TO BE REUSED.

Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2



CANAL STREET

**NOT FOR CONSTRUCTION**

<b>Project Name</b>	Jackie Robinson Foundation
<b>Project Number</b>	06.6256.015
<b>Description</b>	POWER & COMM - FLOOR 2 - PHASE 2

**Scale**  
1/8" = 1'-0"

**A-302**

**GENERAL NOTES**

- A. REFER TO ENGINEER'S DRAWINGS FOR MEP/FP SCOPE OF WORK.
- B. REFER TO LIGHTING SPECIFICATIONS.
- C. REFER TO EXHIBIT DESIGNER'S DRAWINGS FOR MORE INFORMATION.
- D. VERIFY ALL EXISTING CEILING HEIGHTS PRIOR TO CONSTRUCTION OF NEW CEILING.
- E. ALL STROBE, SPEAKER/STROBE AND VISUAL ALARM DEVICE LOCATIONS INDICATED ON THE ARCHITECTURAL DRAWINGS ARE FOR DESIGN INTENT. SUBMIT SHOP DRAWINGS TO ARCHITECT AND ENGINEER FOR REVIEW PRIOR TO START OF WORK.
- F. ALL EXISTING LIGHT FIXTURES TO BE RE-LAMPED WITH LED BULBS.

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**SHEET NOTES**

- 10 HANGING ELEVATOR/SUMP PIT. REFER TO ENGINEER'S DRAWINGS.
- 17 RELOCATE EXISTING PIPES/DUCTS AS REQUIRED FOR NEW HANGING ELEVATOR PIT. REFER TO ENGINEER'S DRAWINGS.

△ Date	Description
05/07/2018	SD FOR PRICING
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2

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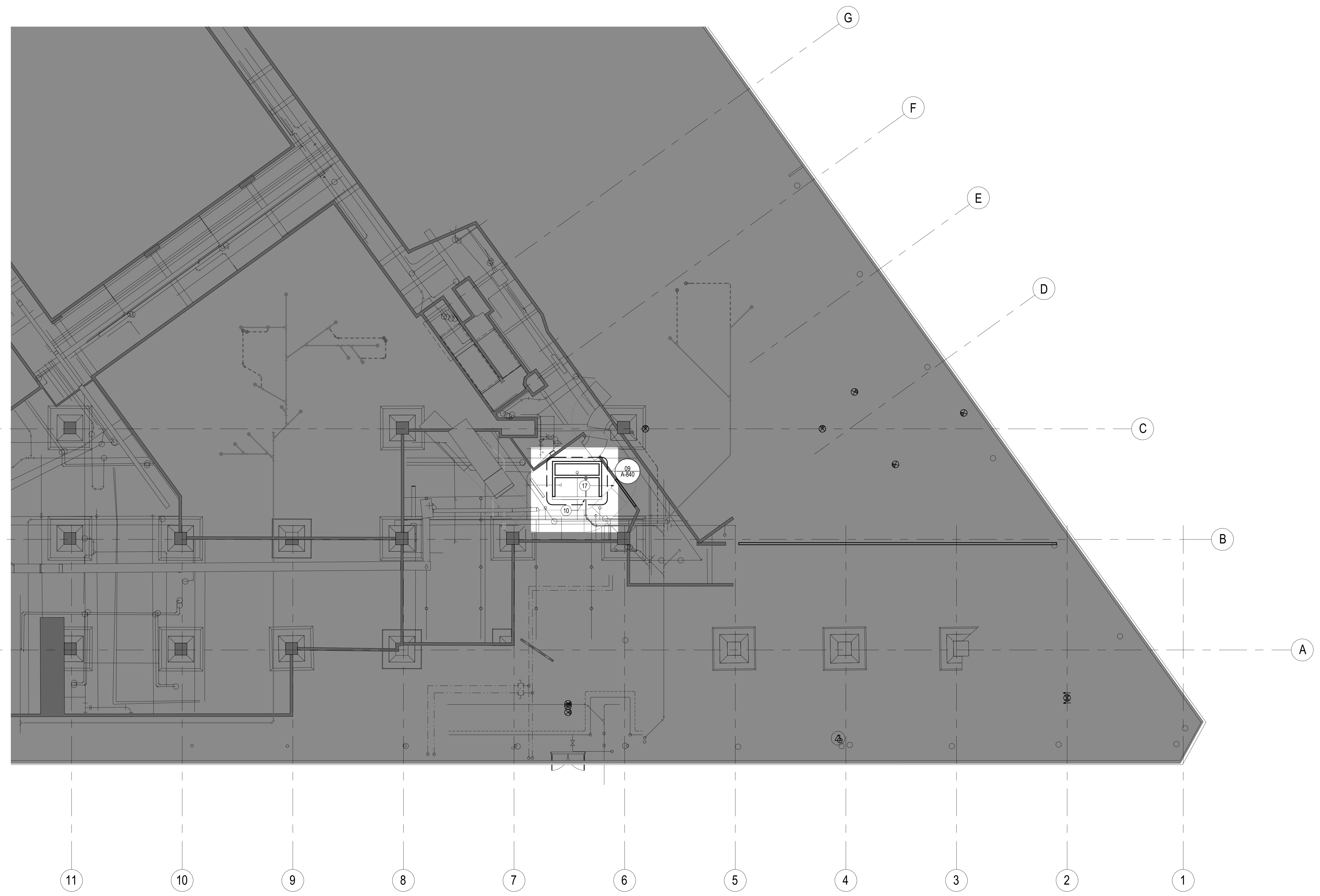
Project Name  
 Jackie Robinson Foundation

Project Number  
 06.6256.015

Description  
 REFLECTED CEILING PLAN - CELLAR

Scale  
 1/8" = 1'-0"

**A-400**





**GENERAL NOTES**

- A. REFER TO ENGINEER'S DRAWINGS FOR MEP/FP SCOPE OF WORK.
- B. REFER TO LIGHTING SPECIFICATIONS.
- C. REFER TO EXHIBIT DESIGNER'S DRAWINGS FOR MORE INFORMATION.
- D. VERIFY ALL EXISTING CEILING HEIGHTS WITH ELEVATION TAGS PRIOR TO CONSTRUCTION OF NEW CEILING.
- E. EXISTING EXISTING LIGHT FIXTURES TO BE RE-LAMPED WITH LED BULBS.
- F. PAINT ALL SLAB SURFACES AND INFRASTRUCTURE ABOVE CEILING, INCLUDING DUCTWORK AND SPRINKLERS.

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**SHEET NOTES**

- 01 PROVIDE SPRAY-ON ACOUSTICAL INSULATION ABOVE METAL GRID CEILING.
- 02 NEW EXPANDED METAL GRID CEILING
- 03 NEW GYPSUM CEILING.
- 05 EXPOSED CEILING
- 11 NEW SEAMLESS ACOUSTIC SOUND ABSORBING PLASTER CEILING.
- 12 PROVIDE ROLLER SECURITY SHUTTER. REFER TO SPEC SECTION 03332.
- 18 EXISTING CEILING, LIGHT FIXTURES TO REMAIN.

Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR CONSTRUCTION**

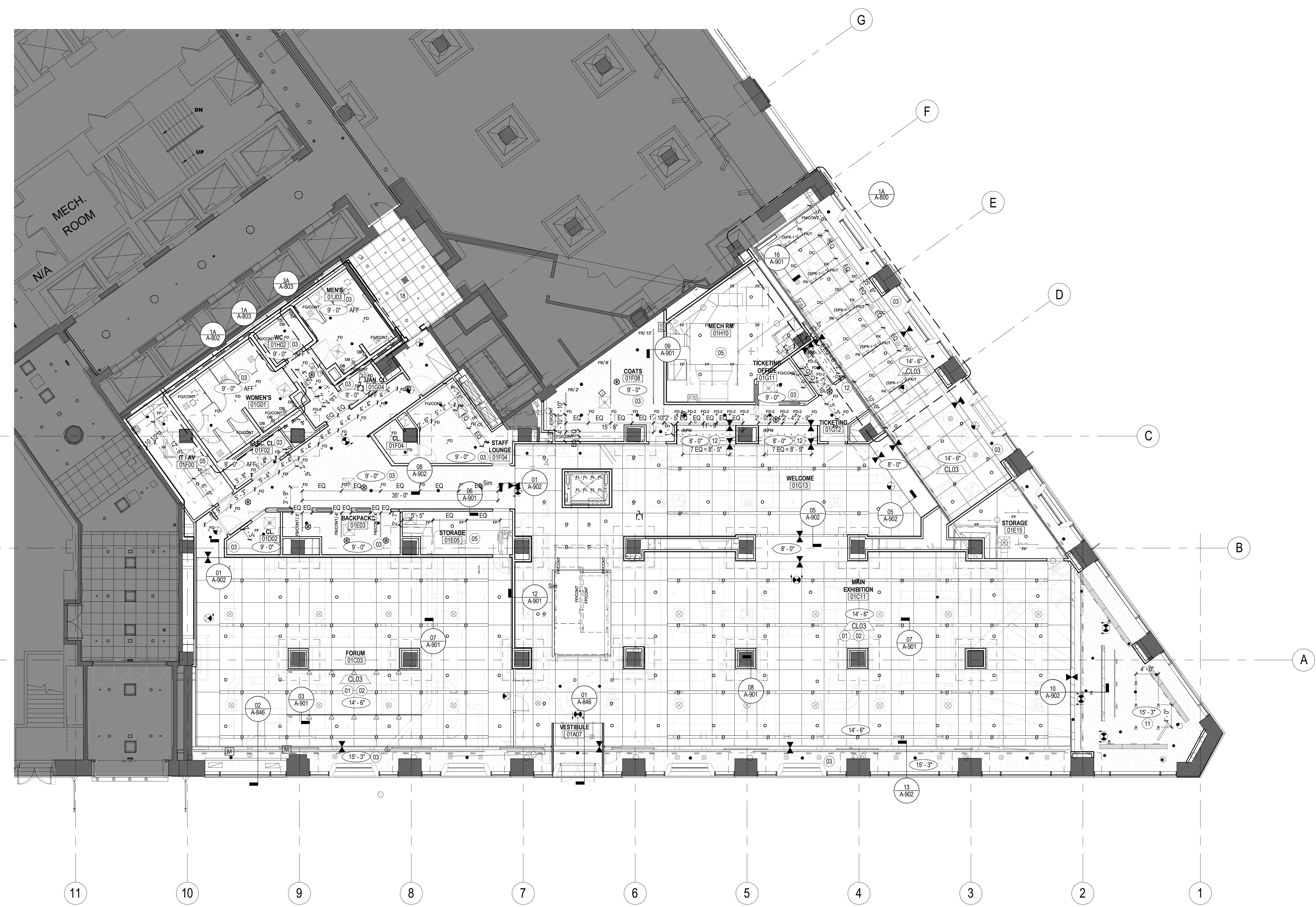
Project Name  
 Jackie Robinson Foundation

Project Number  
 06.6256.015

Description  
 REFLECTED CEILING PLAN - FLOOR 01

Scale  
 As indicated

**A-401**



**GENERAL NOTES**

- A. REFER TO ENGINEER'S DRAWINGS FOR MEP/FP SCOPE OF WORK.
- B. REFER TO LIGHTING SPECIFICATIONS.
- C. REFER TO EXHIBIT DESIGNER'S DRAWINGS FOR MORE INFORMATION.
- D. VERIFY ALL EXISTING CEILING HEIGHTS PRIOR TO CONSTRUCTION OF NEW CEILING.
- E. ALL STROBE, SPEAKER/STROBE AND VISUAL ALARM DEVICE LOCATIONS INDICATED ON THE ARCHITECTURAL DRAWINGS ARE FOR DESIGN INTENT. SUBMIT SHOP DRAWINGS TO ARCHITECT AND ENGINEER FOR REVIEW PRIOR TO START OF WORK.
- F. ALL EXISTING LIGHT FIXTURES TO BE RE-LAMPED WITH LED BULBS.

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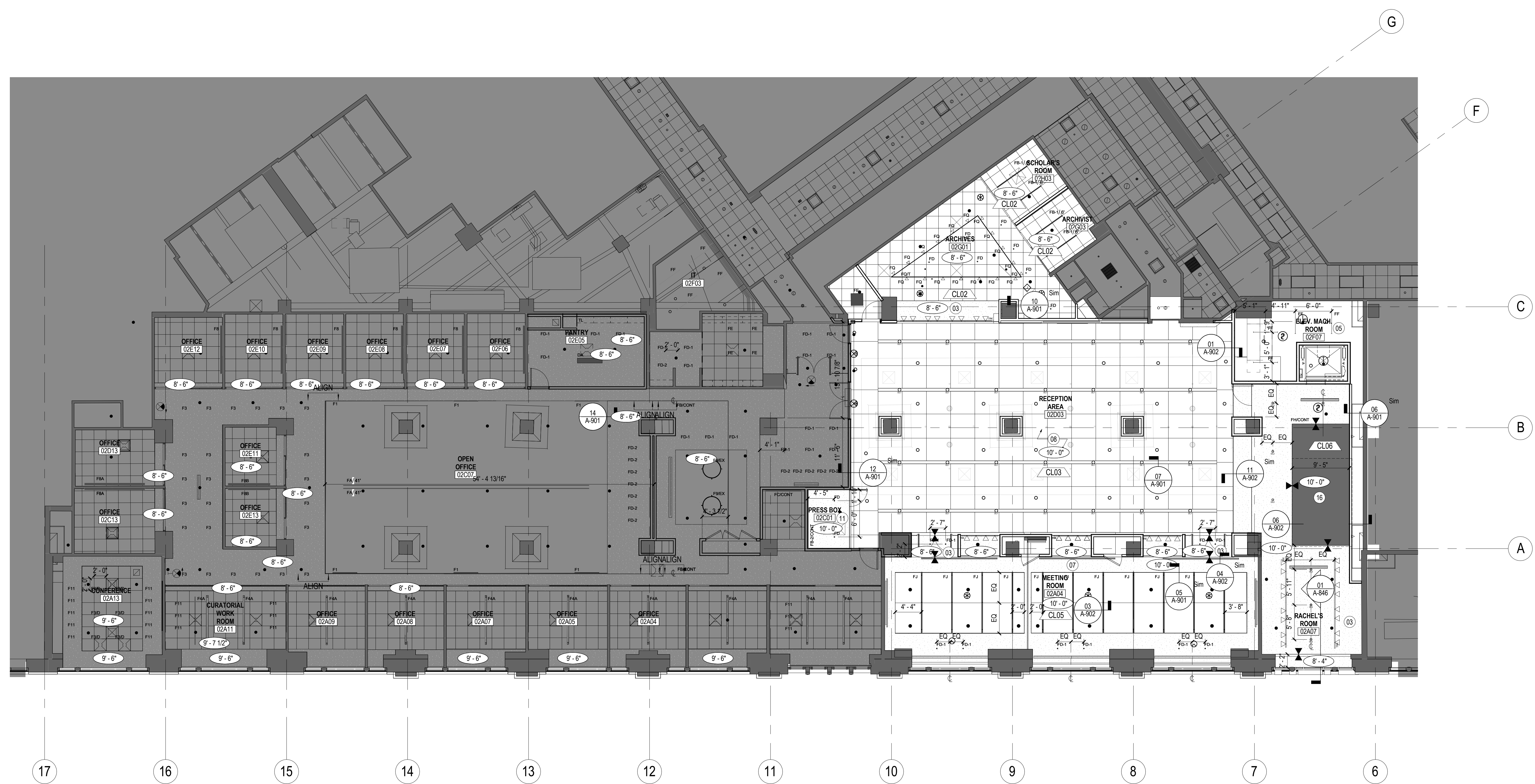
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**SHEET NOTES**

- 03 NEW GYPSUM CEILING.
- 05 EXPOSED CEILING
- 07 EXISTING GWS CEILING, PATCH AND REPAIR AS REQUIRED.
- 08 PATCH EXISTING SPRAY-ON ACOUSTICAL INSULATION AS REQUIRED. COLOR TO MATCH EXISTING.
- 11 NEW SEAMLESS ACOUSTIC SOUND ABSORBING PLASTER CEILING.
- 16 STRETCHED CEILING WITH LED LIGHT PANELS ABOVE. REFER TO LIGHTING SPECS AND DETAILS.

Date	Description
05/07/2018	SD FOR PRICING
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2



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Project Name  
 Jackie Robinson Foundation

Project Number  
 06.6256.015

Description  
 REFLECTED CEILING PLAN - FLOOR 2 - PHASE 2

Scale  
 1/8" = 1'-0"

**A-402**

**GENERAL NOTES**

- A ENSURE SURFACES TO RECEIVE NEW FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING OF WORK INDICATES INSTALLER'S ACCEPTANCE OF SUBSTRATE.
- B REPAIR EXISTING SURFACES SCHEDULED TO REMAIN AS REQUIRED FOR THE APPLICATION OF NEW FINISHES.
- C UNLESS OTHERWISE NOTED, PROVIDE MINIMUM THREE-COAT PAINT SYSTEMS FOR EACH SUBSTRATE.
- D PROVIDE STRAIGHT, FLUSH RESILIENT BASE AT CARPETED AREAS AND COVE TOP SET RESILIENT BASE AT AREAS OF RESILIENT FLOORING, UNLESS OTHERWISE NOTED.
- E REFER TO PROJECT MANUAL FOR LEVEL OF FINISH FOR GYPSUM BOARD PARTITIONS/CEILINGS AS REQUIRED FOR SPECIFIED FINISHES.
- F ALL EXPOSED DUCTWORK, SPRINKLER PIPING, MISC. PIPING & CONDUIT IN AREAS OF NO FINISHED CEILING ARE TO BE PAINTED TO MATCH SLAB PAINT, U.O.N.
- G ALL AREAS TO BE PAINTED PT4 AND RECEIVE 1" REVEAL WITHOUT BASE UNLESS OTHERWISE NOTED.
- H PAINT ALL DOOR FRAMES TO MATCH ADJACENT WALL.

**SHEET NOTES**

- 09 GF02 WINDOW FILM APPLIED TO INTERIOR FACE OF ALL PERIMETER WINDOWS. REFER TO FINISH SCHEDULE.
- 10 PREP AND SEAL CONCRETE SLAB PER SPEC SECTION 096123.
- 11 PREP, SEAL AND PAINT CONCRETE SLAB WITH ANTI-STATIC PAINT - SHERWIN WILLIAMS TRAFFICOTE #105 SD STATIC DISSIPATIVE OR EQUAL.
- 15 NOT USED
- 16 TRAFFIC COATING - DEX-O-TEX M-E FLOORING NR OR EQUAL. REFER TO SPEC SECTION 071800.
- 17 PROVIDE ALTERNATE PRICING FOR WDD1. REFER TO FINISH SCHEDULE AND ELEVATIONS.
- 21 SLOPE TERRAZZO TO CONCRETE SLAB. VERIFY SLOPE IN FIELD.
- 22 PROVIDE TERRAZZO FLOOR IN ELEVATOR CAB.

Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR CONSTRUCTION**

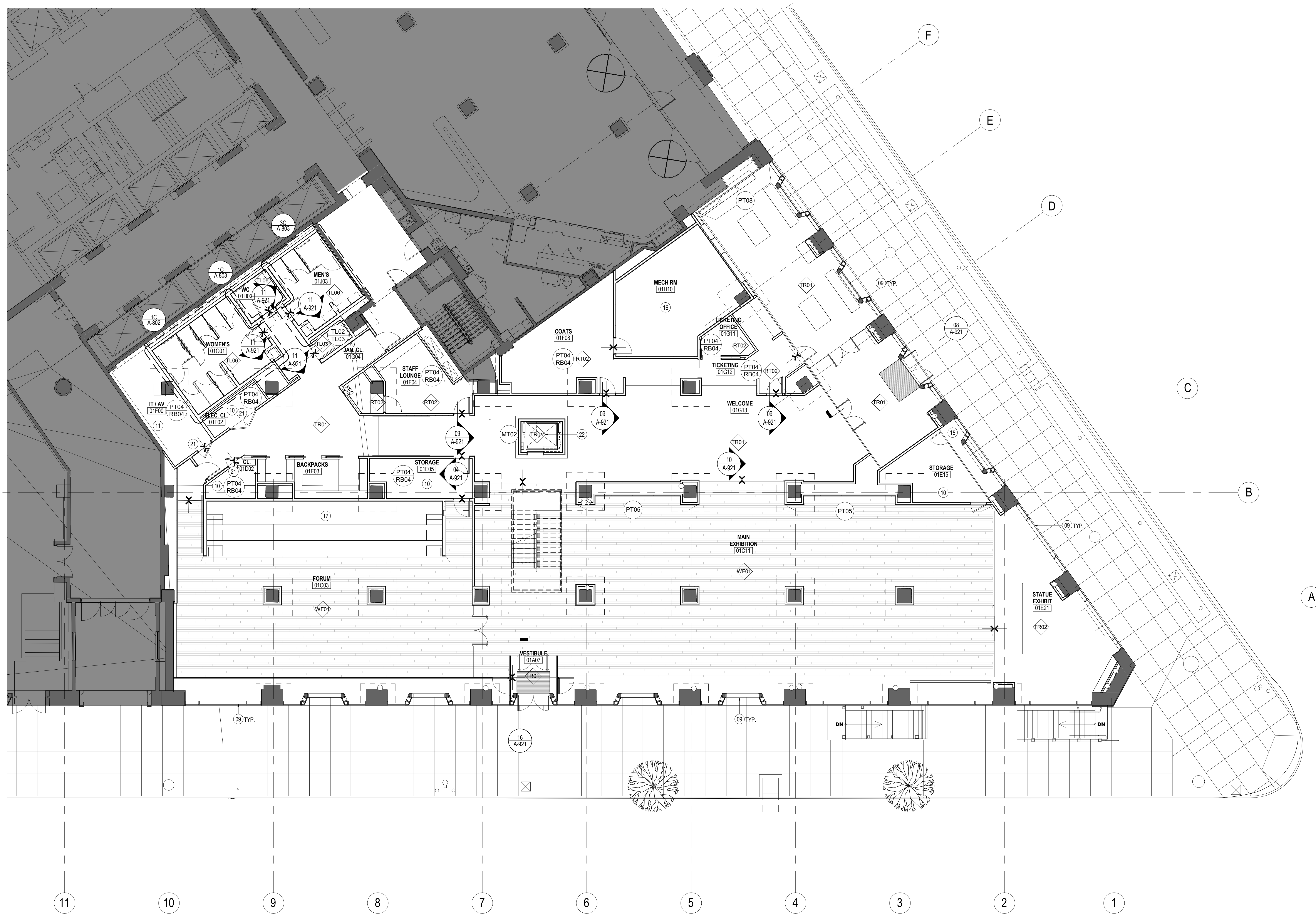
Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

Description  
**FINISH PLAN - FLOOR 01**

Scale  
**1/8" = 1'-0"**

**A-501**



**SHEET NOTES**

- A ENSURE SURFACES TO RECEIVE NEW FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING OF WORK INDICATES INSTALLER'S ACCEPTANCE OF SUBSTRATE.
- B REPAIR EXISTING SURFACES SCHEDULED TO REMAIN AS REQUIRED FOR THE APPLICATION OF NEW FINISHES.
- C UNLESS OTHERWISE NOTED, PROVIDE MINIMUM THREE-COAT PAINT SYSTEMS FOR EACH SUBSTRATE.
- D PROVIDE STRAIGHT, FLUSH RESILIENT BASE AT CARPETED AREAS AND COVE TOP SET RESILIENT BASE AT AREAS OF RESILIENT FLOORING, UNLESS OTHERWISE NOTED.
- E REFER TO PROJECT MANUAL FOR LEVEL OF FINISH FOR GYPSUM BOARD PARTITIONS/CEILINGS AS REQUIRED FOR SPECIFIED FINISHES.
- F ALL EXPOSED DUCTWORK, SPRINKLER PIPING, MISC. PIPING & CONDUIT IN AREAS OF NO FINISHED CEILING ARE TO BE PAINTED TO MATCH SLAB PAINT, U.O.N.
- G ALL AREAS TO BE PAINTED PT4 AND RECEIVE 1" REVEAL WITHOUT BASE UNLESS OTHERWISE NOTED.
- H PAINT ALL DOOR FRAMES TO MATCH ADJACENT WALL.

**GENERAL NOTES**

- 05 EXISTING WOOD FLOOR TO BE REFINISHED. MATCH ARCHITECT'S SAMPLE.
- 09 GF02 WINDOW FILM APPLIED TO INTERIOR FACE OF ALL PERIMETER WINDOWS. REFER TO FINISH SCHEDULE.
- 12 EXISTING STRETCHED FABRIC TO REMAIN AND BE PROTECTED.
- 18 PROVIDE ALTERNATE PRICING FOR S001. REFER TO FINISH SCHEDULE AND ELEVATIONS.
- 20 WITH ALTERNATE FINISH (S001) PROVIDE DOOR DETAILS A-94/111 & 15.

Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2



**NOT FOR CONSTRUCTION**

Project Name  
Jackie Robinson Foundation

Project Number  
06.6256.015

Description  
FINISH PLAN - FLOOR 2 - PHASE 2

Scale  
1/8" = 1'-0"

**A-502**

**GENERAL NOTES**

- A. FURNITURE IS INDICATED FOR INFORMATIONAL PURPOSES ONLY.
- B. CONTRACTOR TO COORDINATE LAYOUT OF FURNITURE WITH FURNITURE MANAGER/SUPPLIER PRIOR TO INSTALLATION OF WALL & FLOOR MOUNTED DEVICES.

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Date	Description
05/07/2018	SD FOR PRICING
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR CONSTRUCTION**

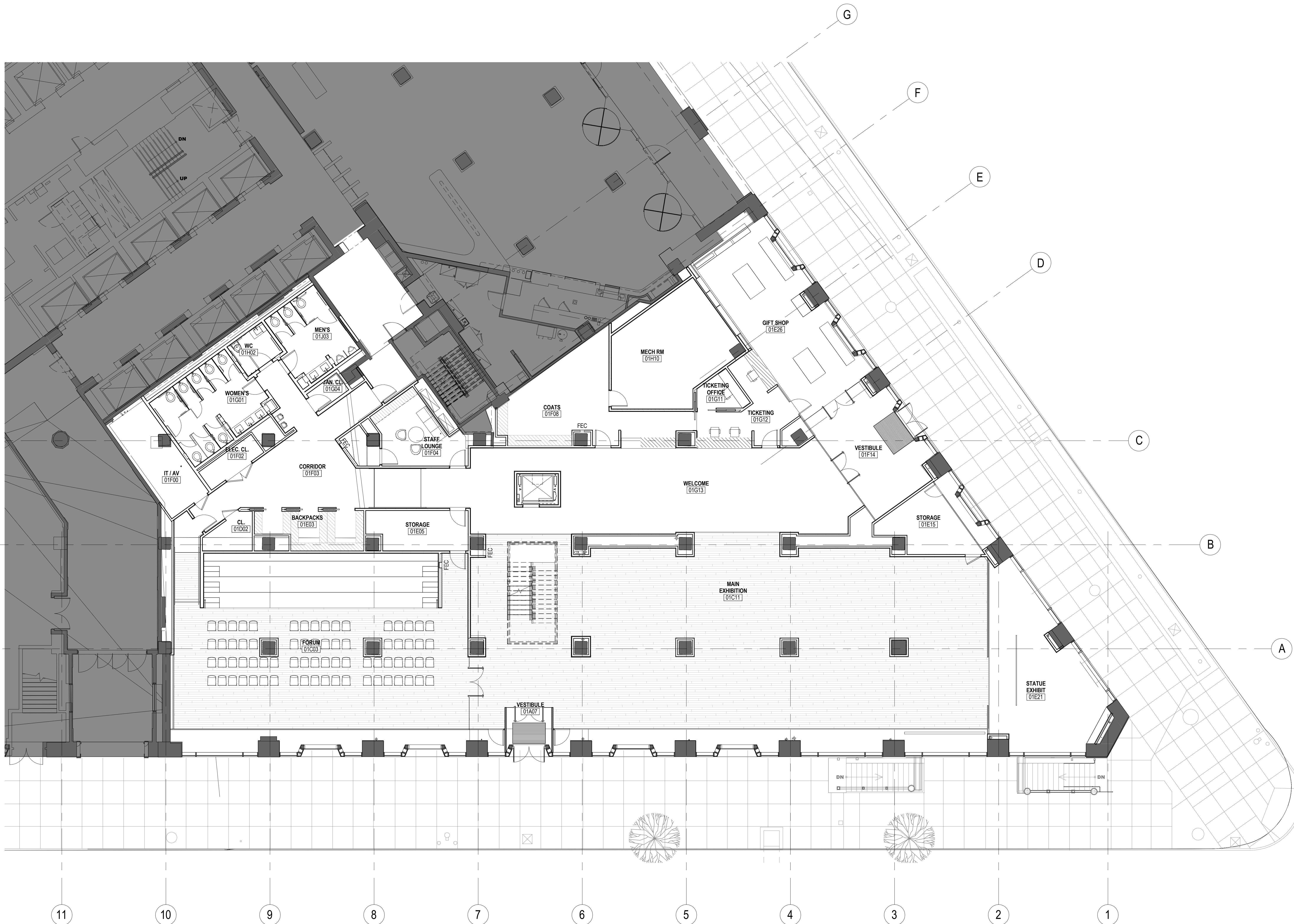
Project Name  
 Jackie Robinson Foundation

Project Number  
 06.6256.015

Description  
 FURNITURE PLAN - FLOOR 01

Scale  
 1/8" = 1'-0"

**A-601**



**GENERAL NOTES**

- A. FURNITURE IS INDICATED FOR INFORMATIONAL PURPOSES ONLY.
- B. CONTRACTOR TO COORDINATE LAYOUT OF FURNITURE WITH FURNITURE MANAGER/ SUPPLIER PRIOR TO INSTALLATION OF WALL & FLOOR MOUNTED DEVICES.

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Date	Description
05/07/2018	SD FOR PRICING
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR CONSTRUCTION**

Project Name  
 Jackie Robinson Foundation

Project Number  
 06.6256.015

Description  
 FURNITURE PLAN - FLOOR 2 - PHASE 2

Scale  
 1/8" = 1'-0"

**A-602**



**GENERAL NOTES**

A. EXISTING STOREFRONT TO BE REMOVED FROM EXISTING FRAMING. FRAMES TO BE RE-GASKETED AND REINSTALLED. REFINISHED AS REQUIRED.

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**SHEET NOTES**

- 01 NEW STOREFRONT DOORS. REFER TO DOOR AND HARDWARE SCHEDULE. REFER TO SPEC SECTION 08 41 13.
- 02 NEW MECHANICAL LOUVER LOCATION. SEE ENGINEER'S DRAWINGS FOR MORE INFORMATION. LOUVERS TO TAKE PLACE OF EXISTING GLASS ONLY. EXISTING VERTICAL FRAMES TO REMAIN. LOUVER FINISH TO MATCH EXISTING ADJACENT WINDOW FRAME FINISH.
- 03 EXISTING RECESSED BAY TO BE REPLACED WITH FLAT BAY. REFER TO CONSTRUCTION PLAN FOR MORE INFORMATION.

Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2



**1 CANAL STREET ELEVATION**

SCALE: 1/8" = 1'-0"



**2 VARICK STREET ELEVATION**

SCALE: 1/8" = 1'-0"

**NOT FOR CONSTRUCTION**

Project Name  
Jackie Robinson Foundation

Project Number  
06.6256.015

Description  
EXTERIOR ENLARGED PLANS,  
ELEVATIONS - GROUND FL

Scale  
1/8" = 1'-0"

**A-700**

**GENERAL NOTES**

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Tel: 212.343.5304

HDL  
Lighting Designer  
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Tel: 212.529.7800

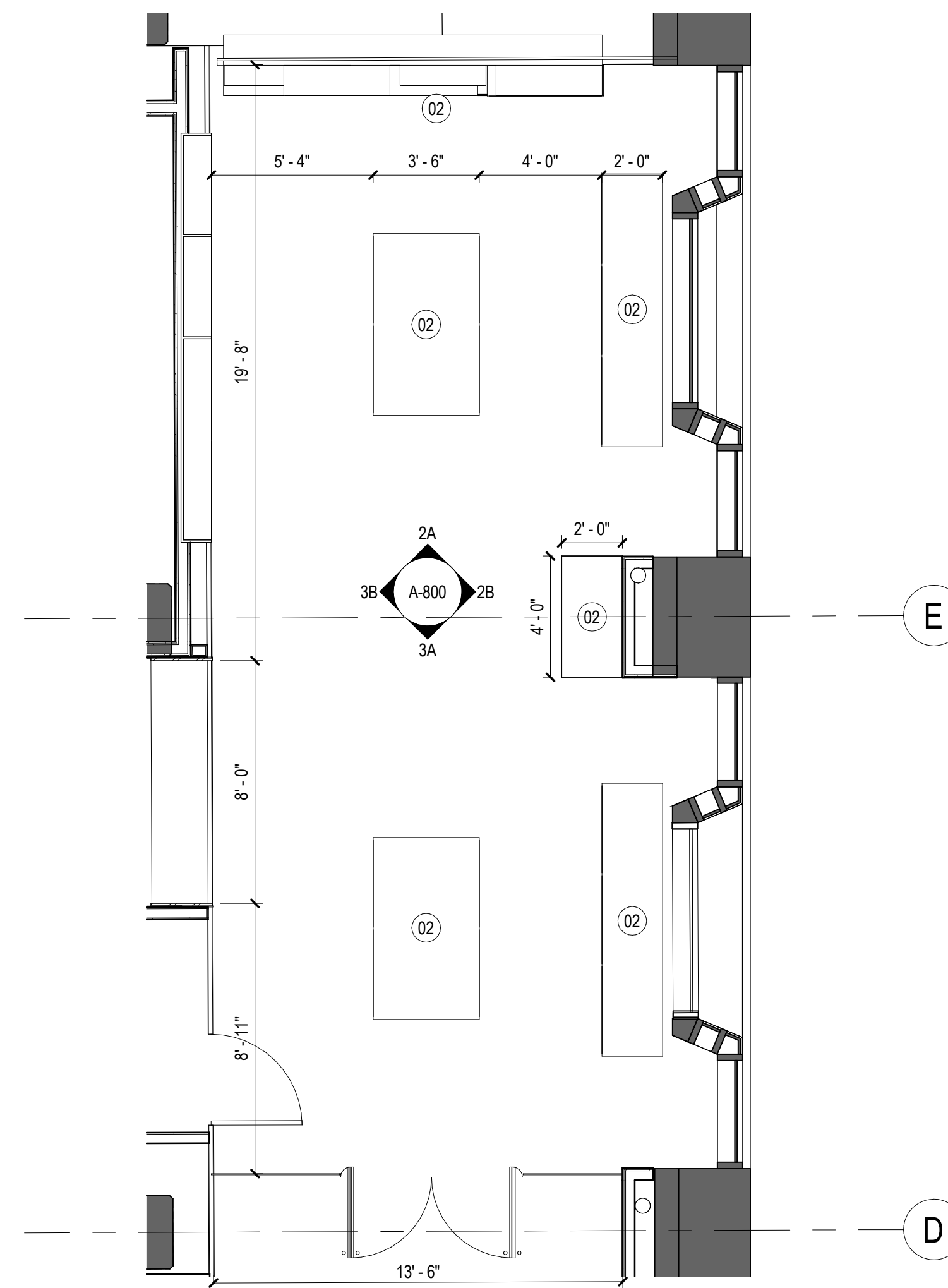
Cerami  
Acoustic, AV, IT & Security Consultant  
404 Fifth Avenue  
New York, NY 10018  
Tel: 212.370.1776

Van Deusen & Associates  
Vertical Transportation Consultant  
120 Eagle Rock Avenue  
Suite 310  
East Hanover, NJ 07936  
Tel: 973.994.5220

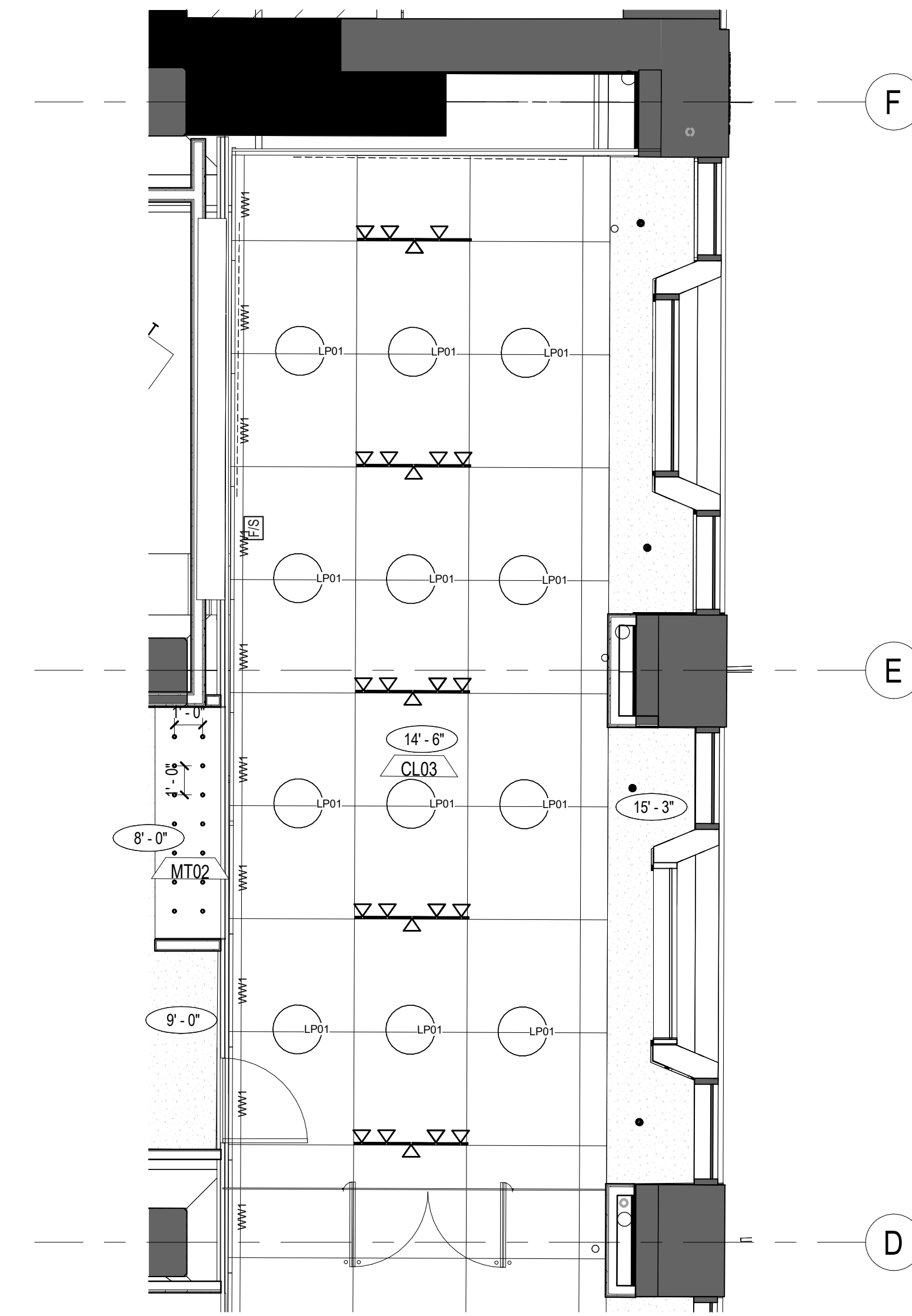
**SHEET NOTES**

- 01 PERIMETER POLYCARBONATE WALL SYSTEM WITH INTEGRATED ACCESS DOOR AND SUPPORT FRAMING - EXTECH SERIES 3440 OR EQUAL. REFER TO SCRIM WALL BID PACKAGE
- 02 MILWORK RETAIL DISPLAY REFER TO DETAILS
- 03 EXISTING STOREFRONT TO REMAIN, REFER TO CONSTRUCTION PLAN FOR MORE INFORMATION.
- 04 GLASS TRANSOM SUPPORT WITH STAINLESS STEEL CAP. REFER TO STRUCTURAL DWGS.
- 05 SUPPORT GRID BEYOND FOR METAL MESH PANELS. REFER TO DETAILS.
- 06 REFER TO RCP & LIGHTING SPECS FOR ADDITIONAL INFORMATION.

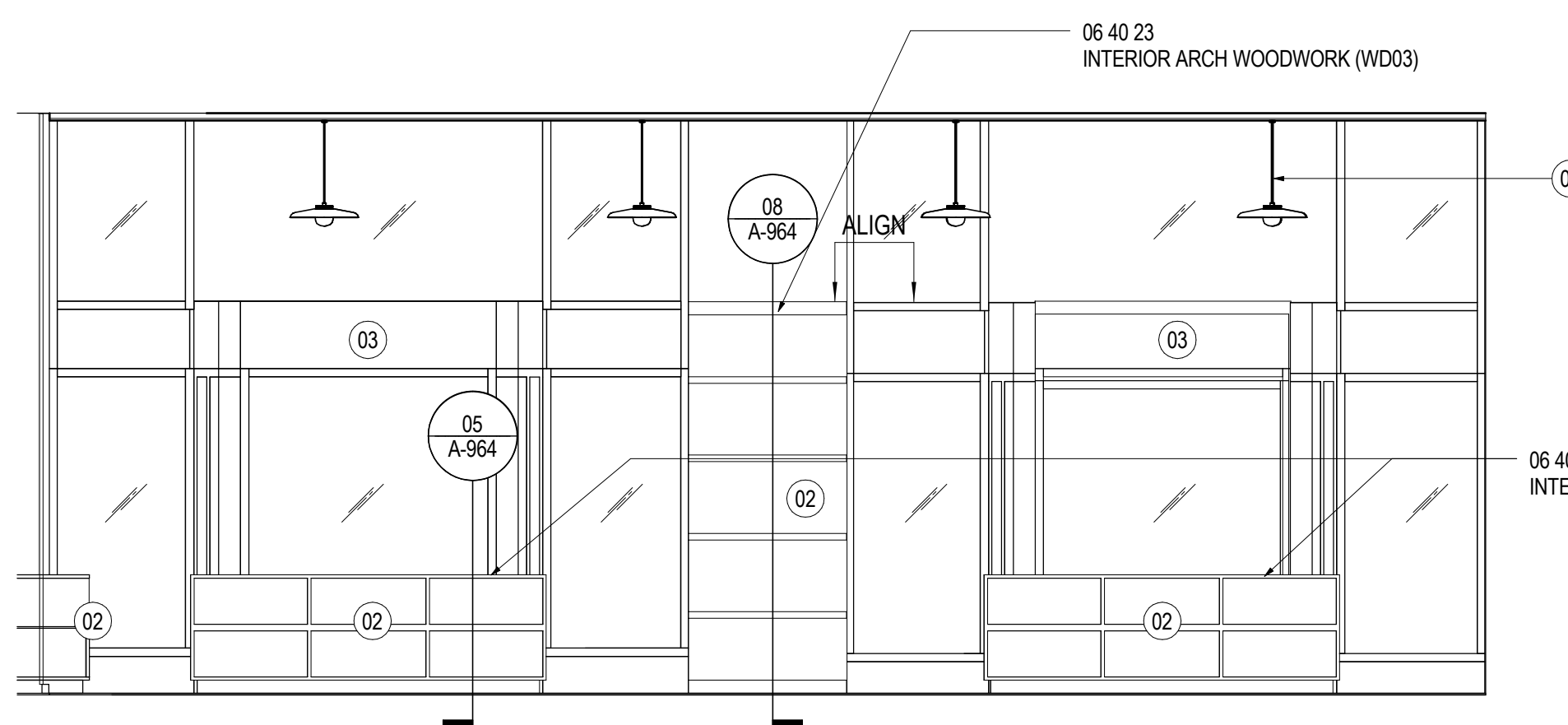
Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2



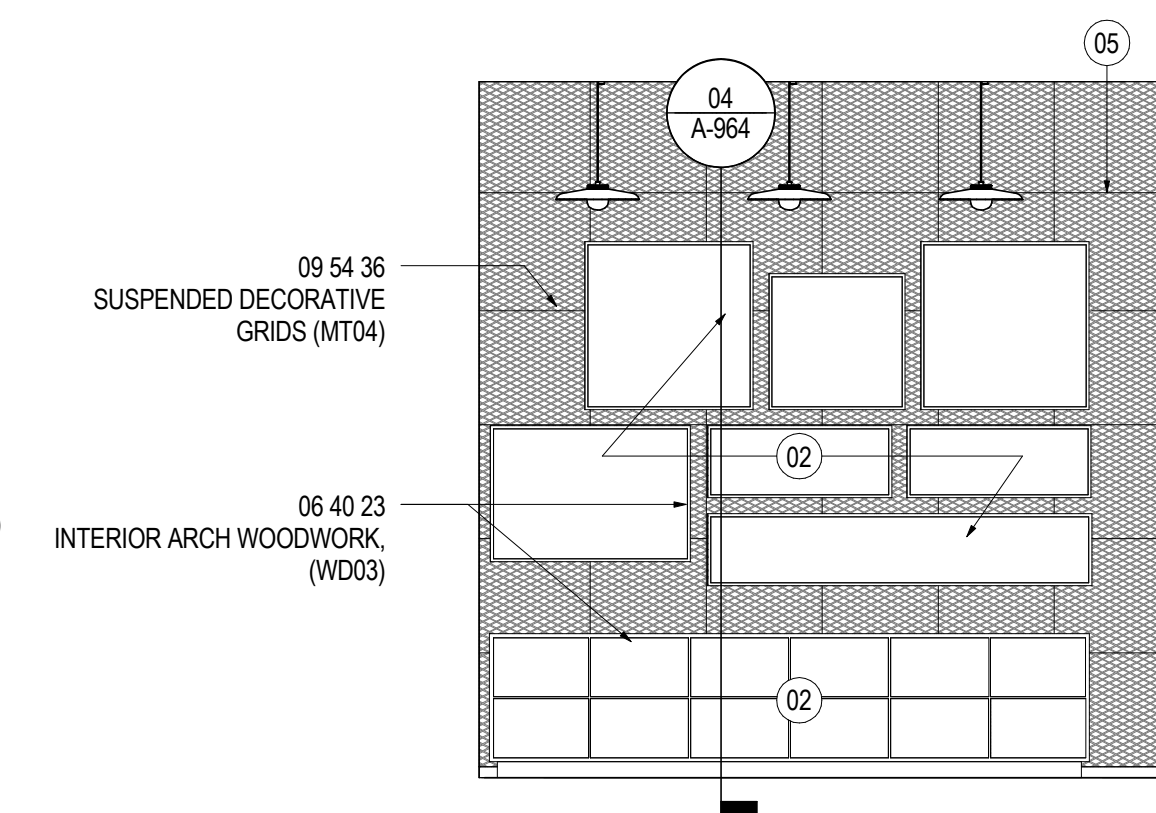
**1B ENLARGED GIFT SHOP PLAN**  
SCALE: 1/4" = 1'-0"



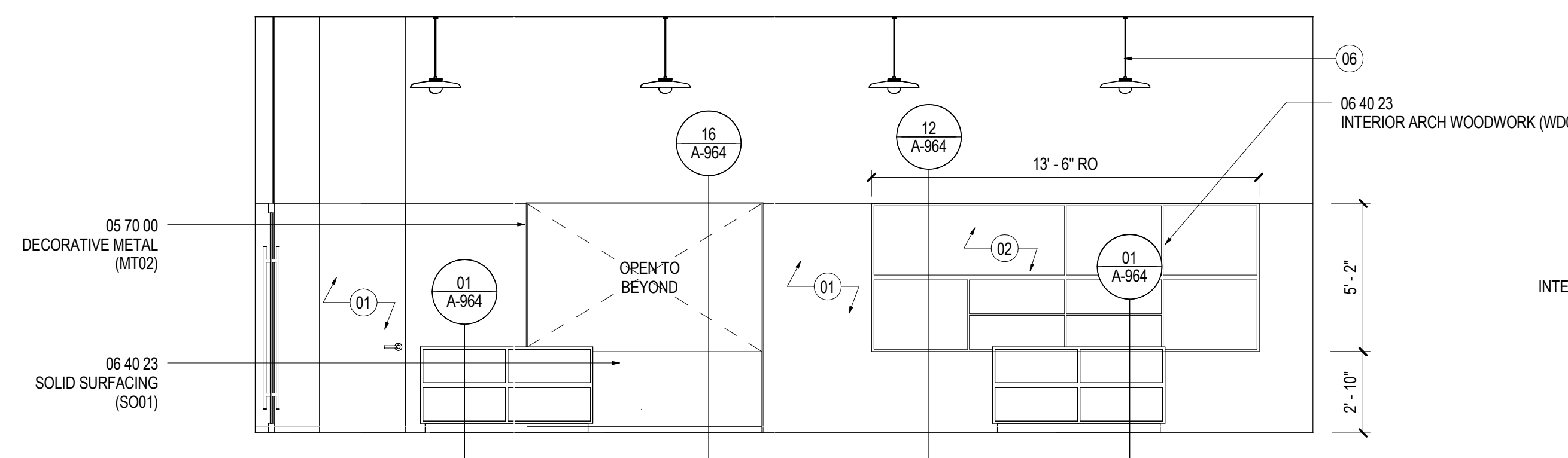
**1A ENLARGED GIFT SHOP RCP**  
SCALE: 1/4" = 1'-0"



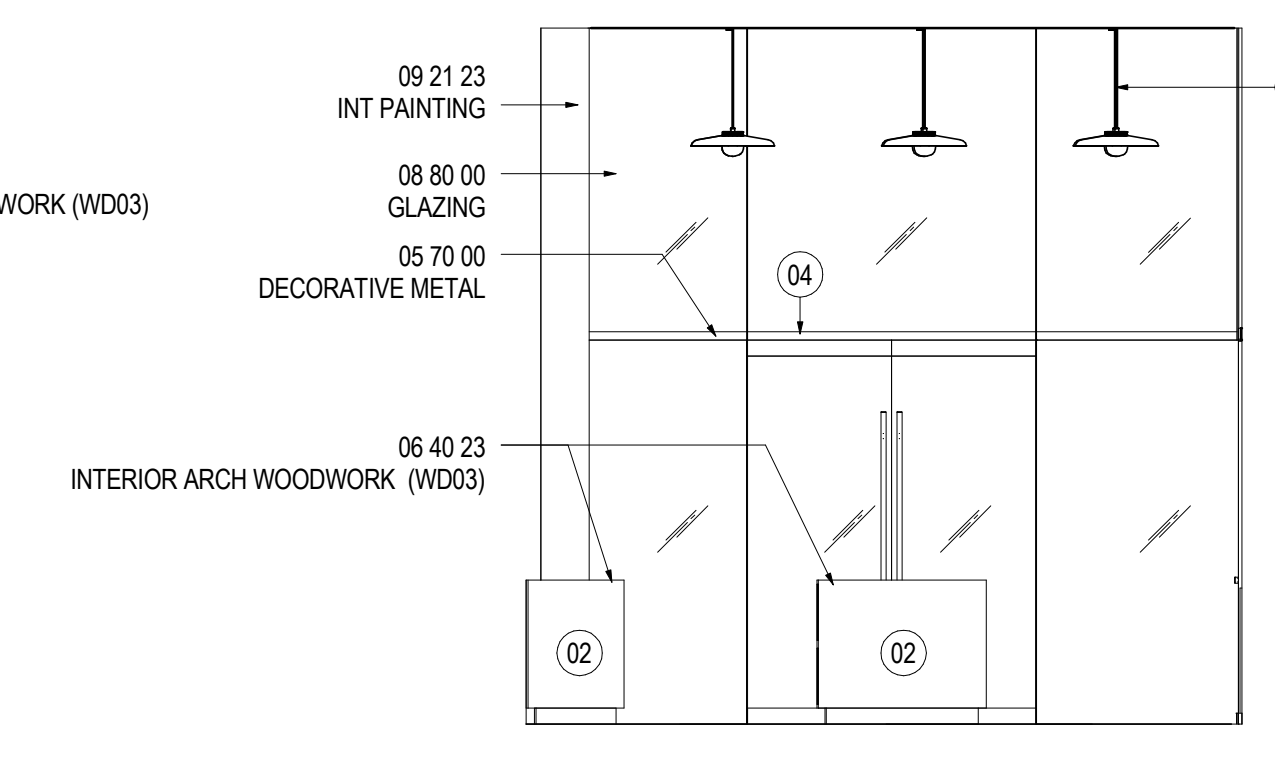
**2B GIFT SHOP EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2A GIFT SHOP NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3B GIFT SHOP WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3A GIFT SHOP SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**NOT FOR CONSTRUCTION**

Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

Description  
**ENLARGED PLANS, ELEVATIONS - GIFT SHOP**

Scale  
**1/4" = 1'-0"**

**A-800**



**GENERAL NOTES**

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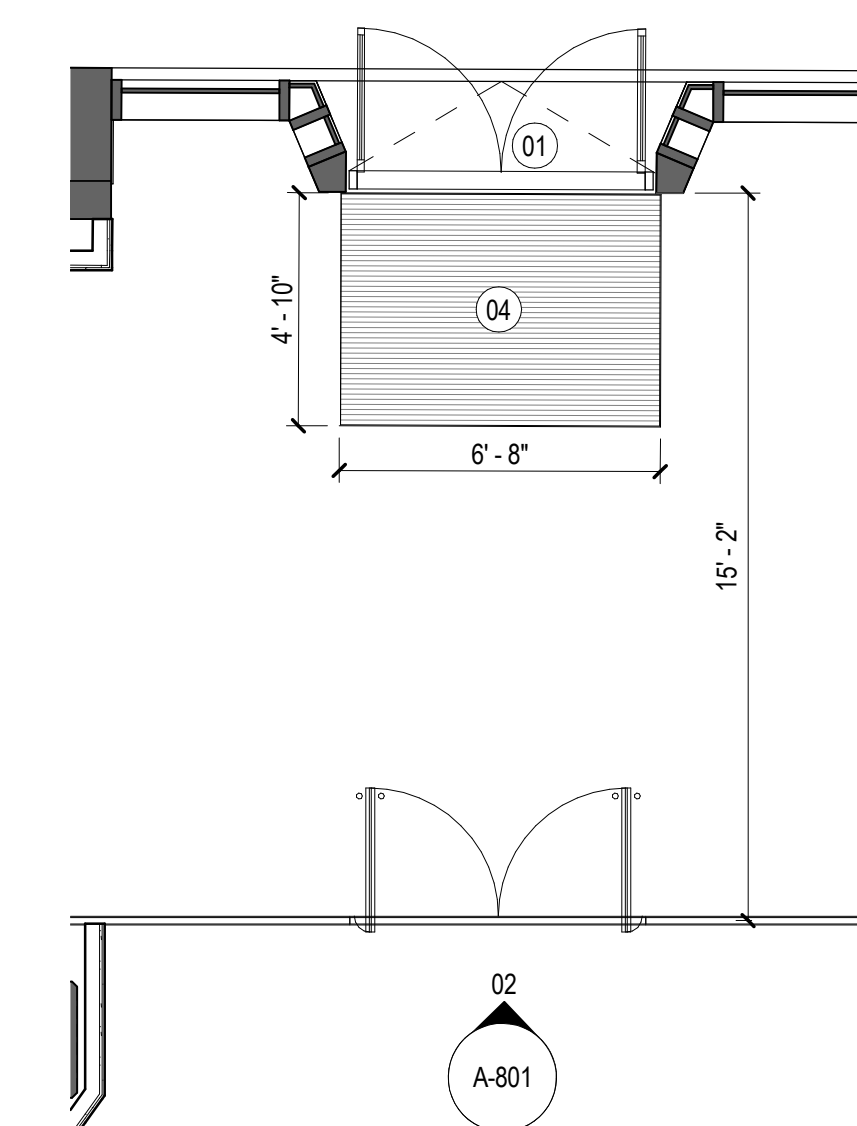
Cerami  
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**SHEET NOTES**

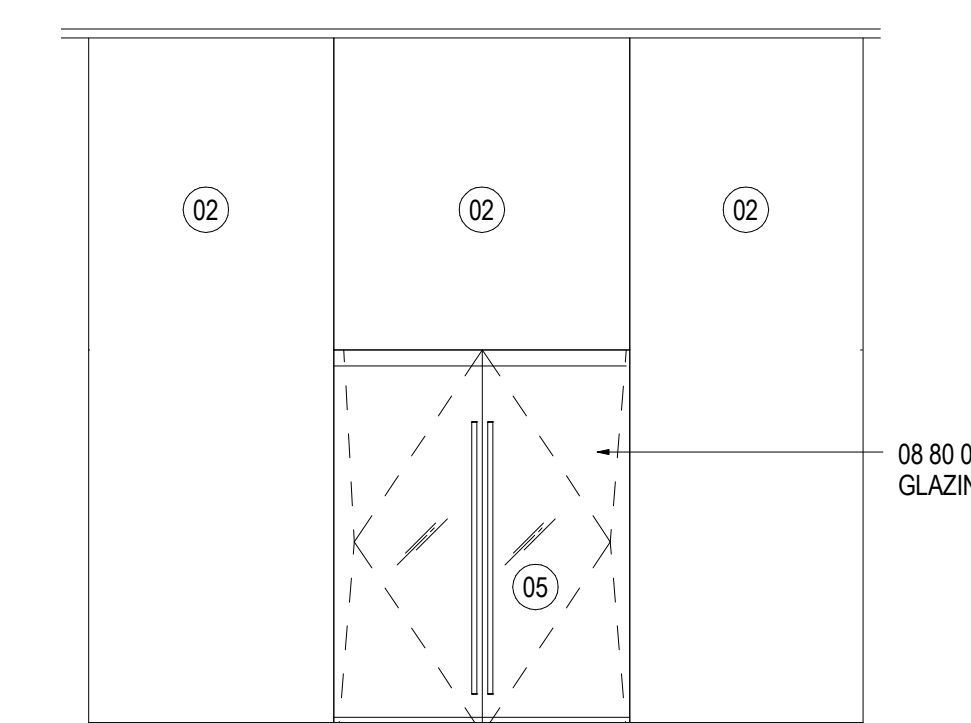
- 01 VERIFY IN FIELD REQUIRED SLOPE TO MEET FINISHED FLOOR LEVEL. 1.2% MAX.
- 02 PERIMETER POLYCARBONATE WALL SYSTEM WITH INTEGRATED ACCESS DOOR AND SUPPORT FRAMING - EXTECH SERIES 3440 OR EQUAL. REFER TO SCRIM WALL BID PACKAGE.
- 04 STAINLESS STEEL ENTRANCE FLOOR GRILLE. INSET TO BE FLUSH WITH TERRAZZO FLOOR. REFER TO SPEC SECTION 12 48 13.
- 05 REFER TO DOOR SCHEDULE.
- 06 DOOR INTEGRAL TO POLYCARBONATE WALL SYSTEM.

△ Date	Description
12/21/2018	ISSUE FOR BID - PHASE 2



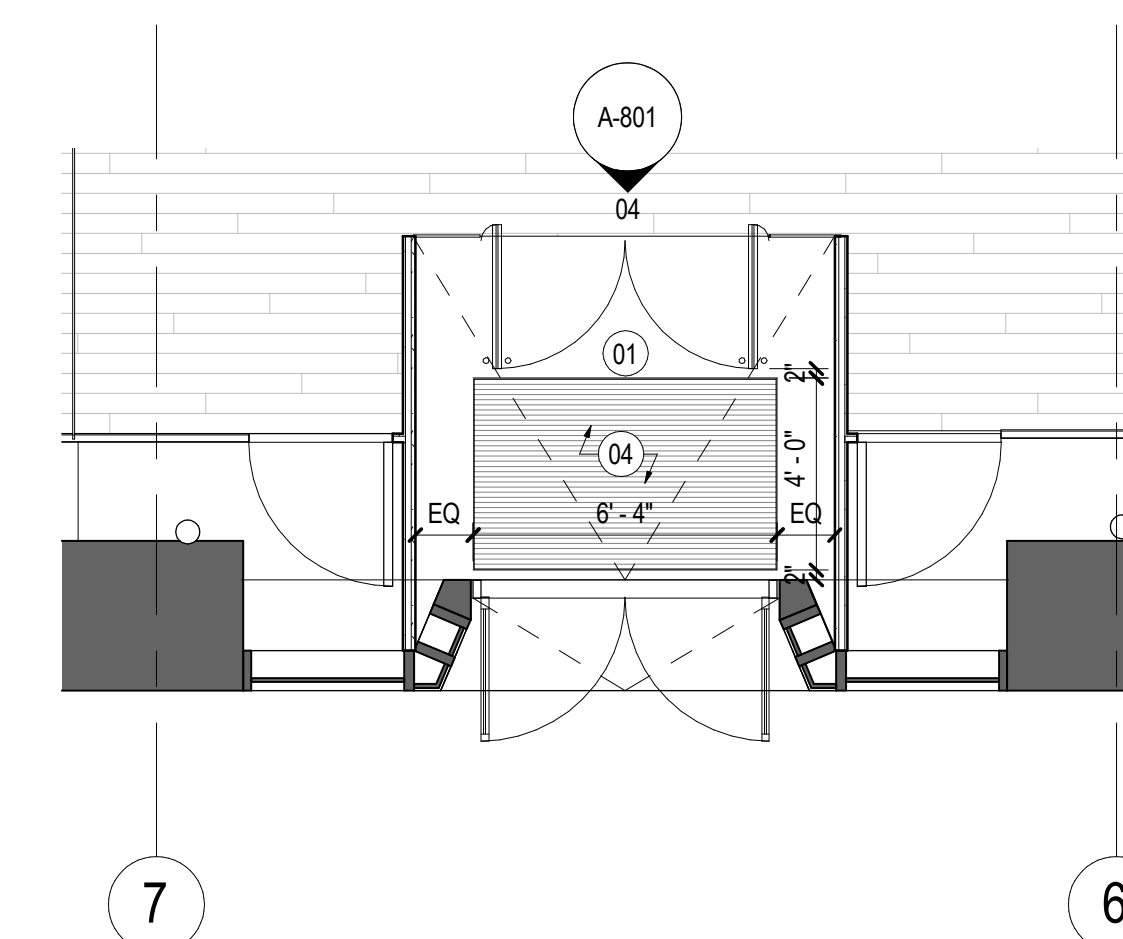
**01 VARICK ENTRY ENLARGED PLAN**

SCALE: 1/4" = 1'-0"



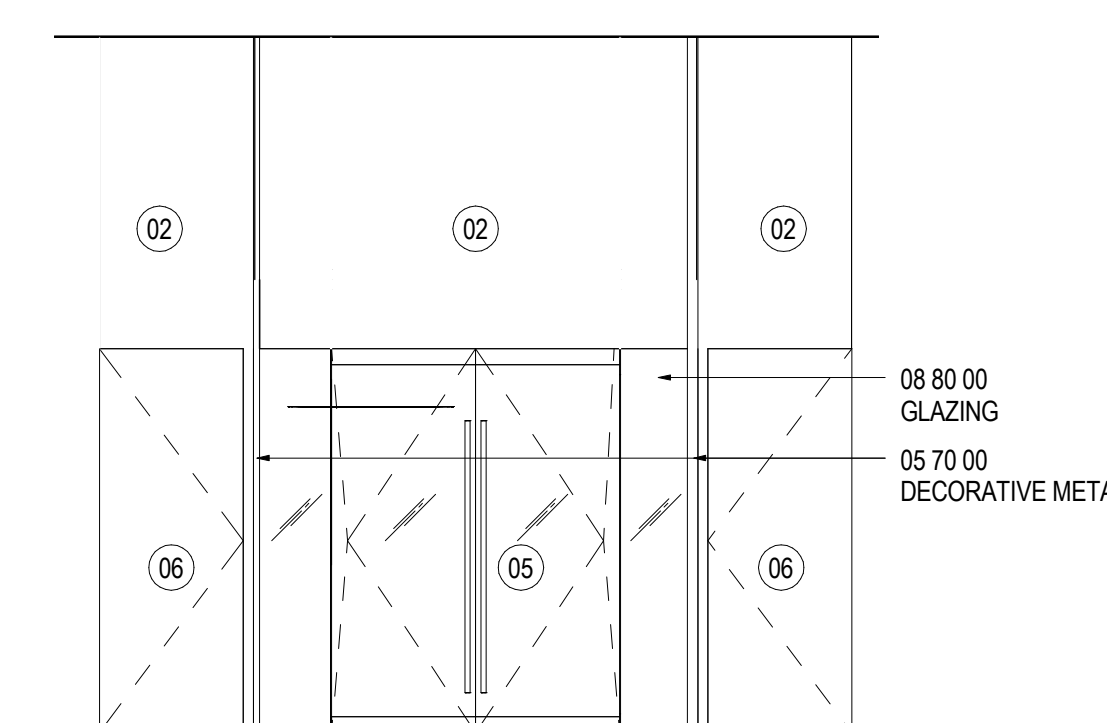
**02 VARICK ENTRY ELEVATION**

SCALE: 1/4" = 1'-0"



**03 CANAL ENTRY ENLARGED PLAN**

SCALE: 1/4" = 1'-0"



**04 CANAL ENTRY NORTH ELEVATION**

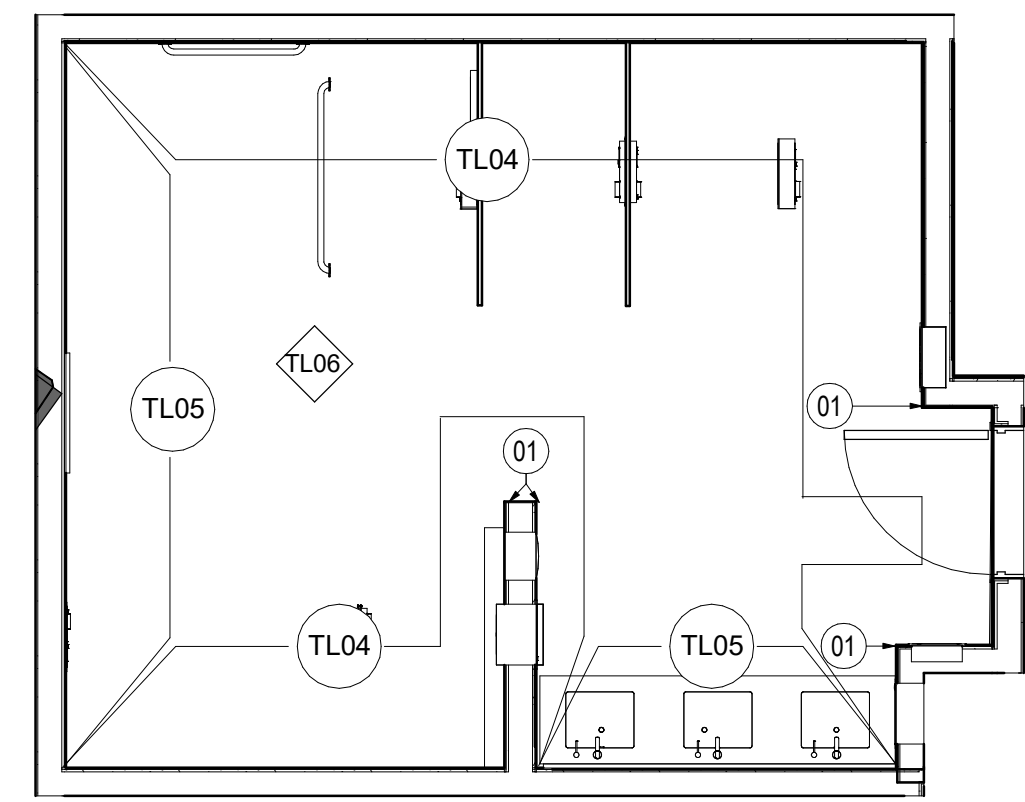
SCALE: 1/4" = 1'-0"

**NOT FOR CONSTRUCTION**

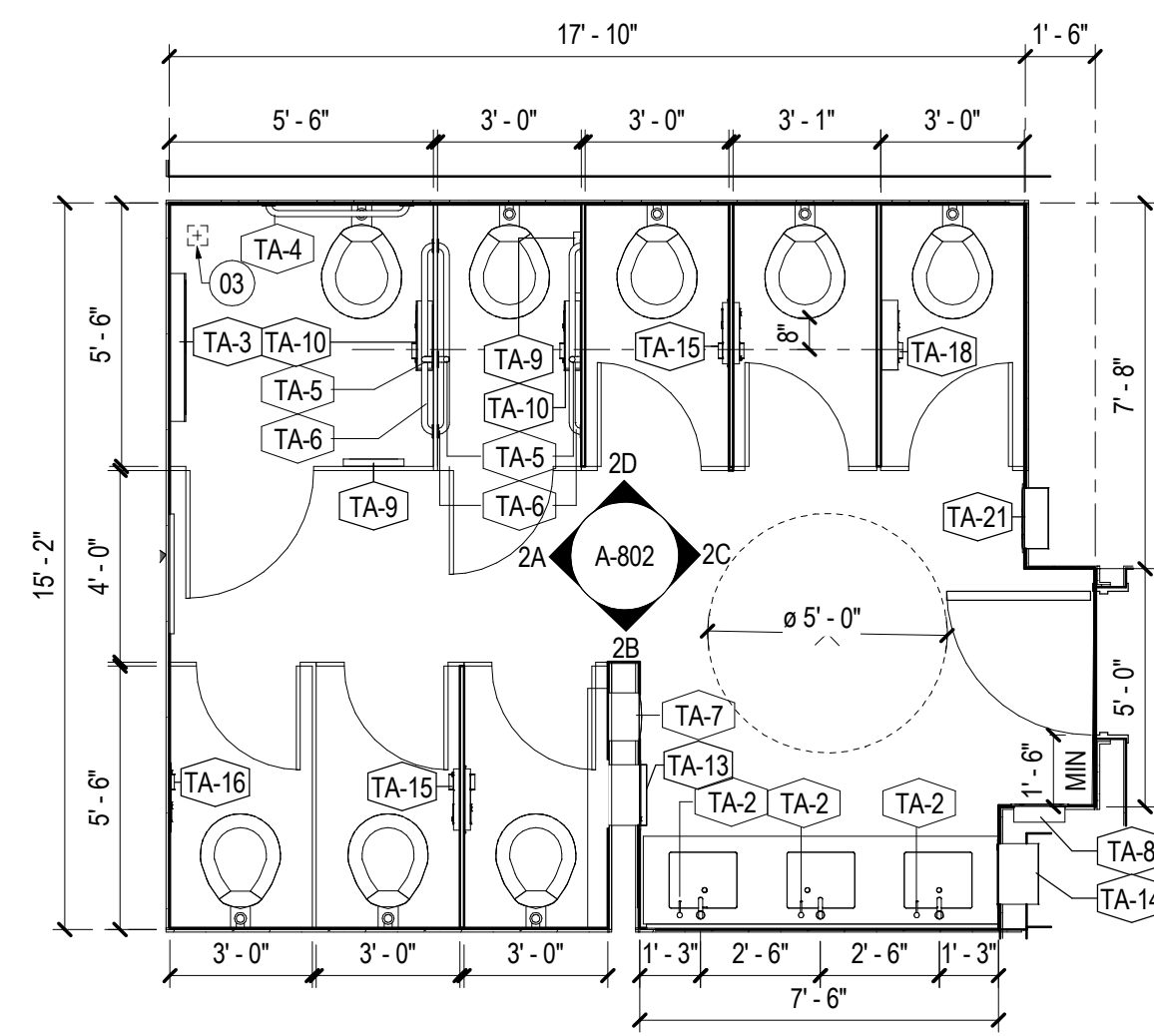
Project Name	Jackie Robinson Foundation
Project Number	06.6256.015
Description	VESTIBULE PLANS & ELEVATIONS

Scale  
1/4" = 1'-0"

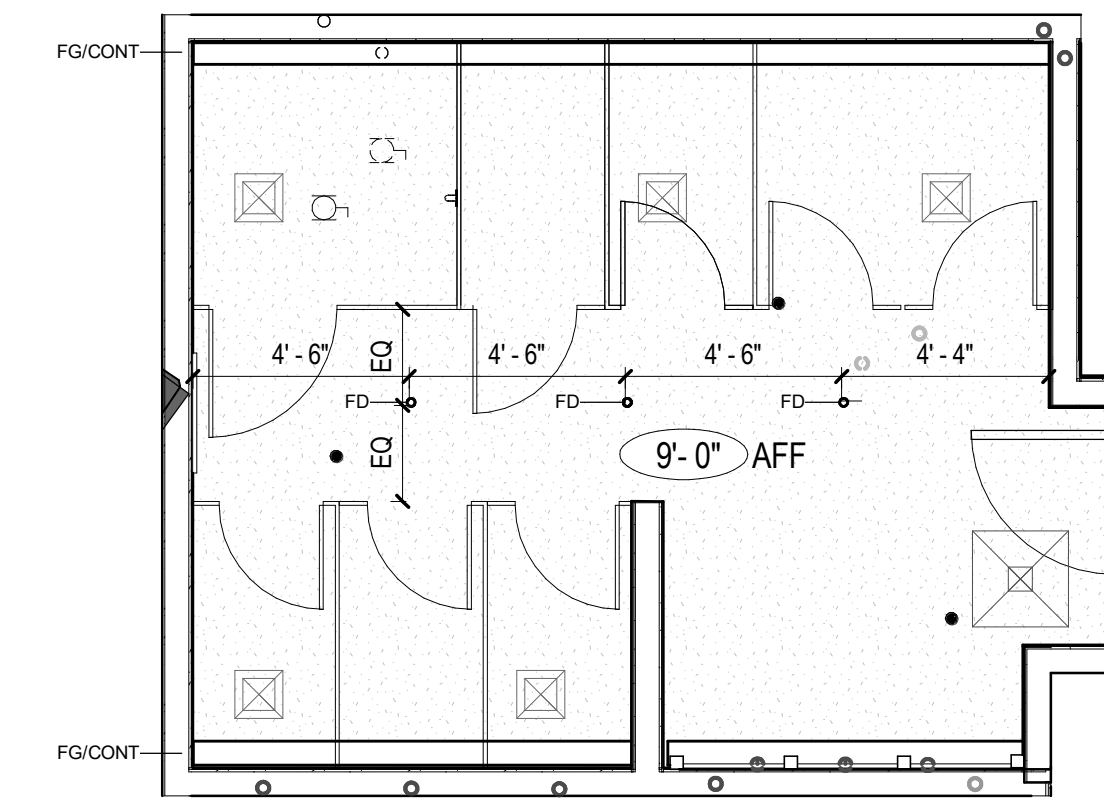
**A-801**



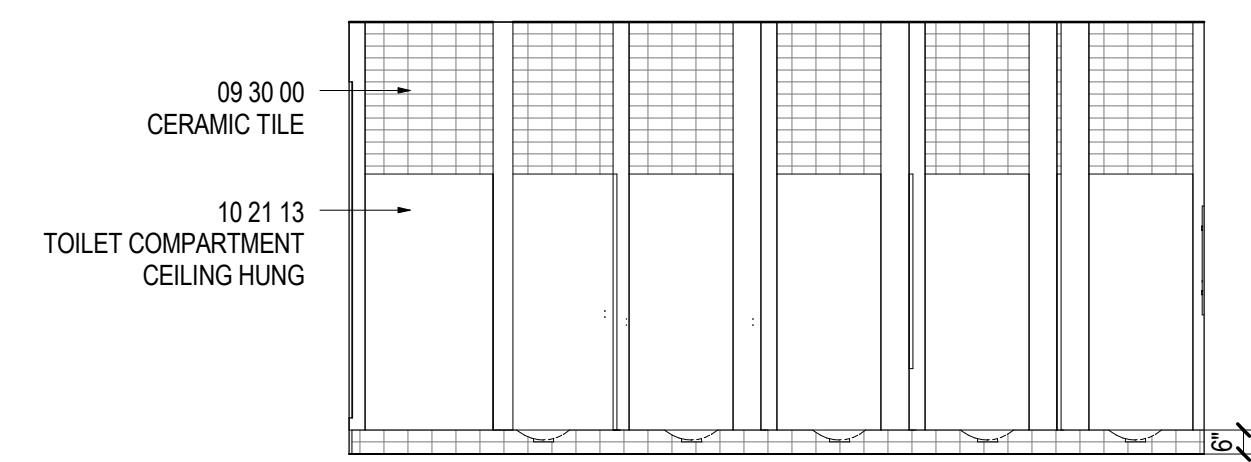
**1C WOMEN'S WASHROOM FINISH PLAN**  
SCALE: 1/4" = 1'-0"



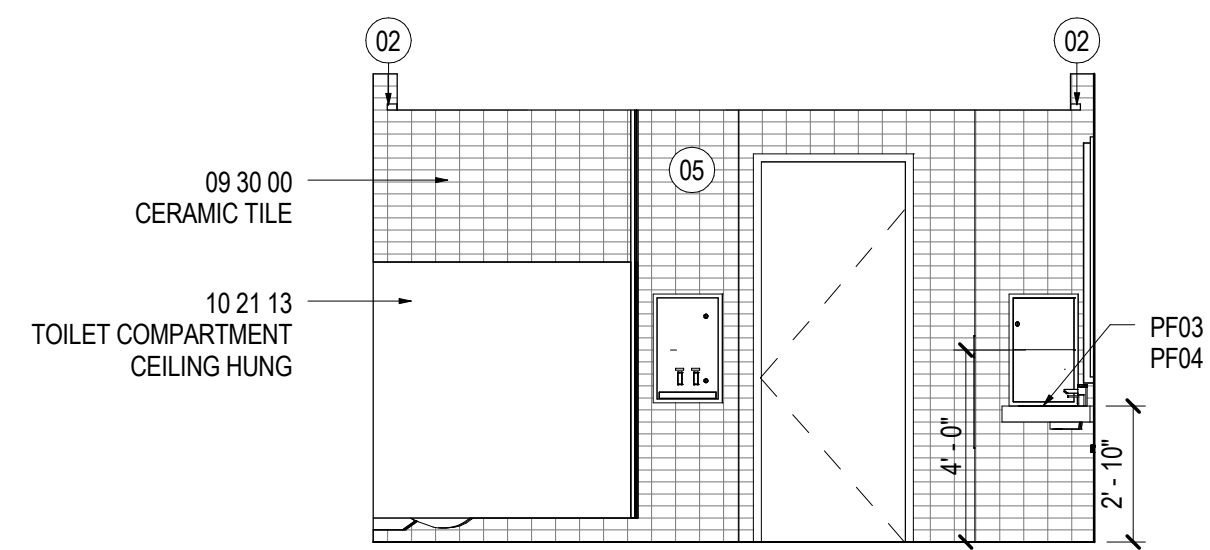
**1B ENLARGED WOMEN'S WASHROOM PLAN**  
SCALE: 1/4" = 1'-0"



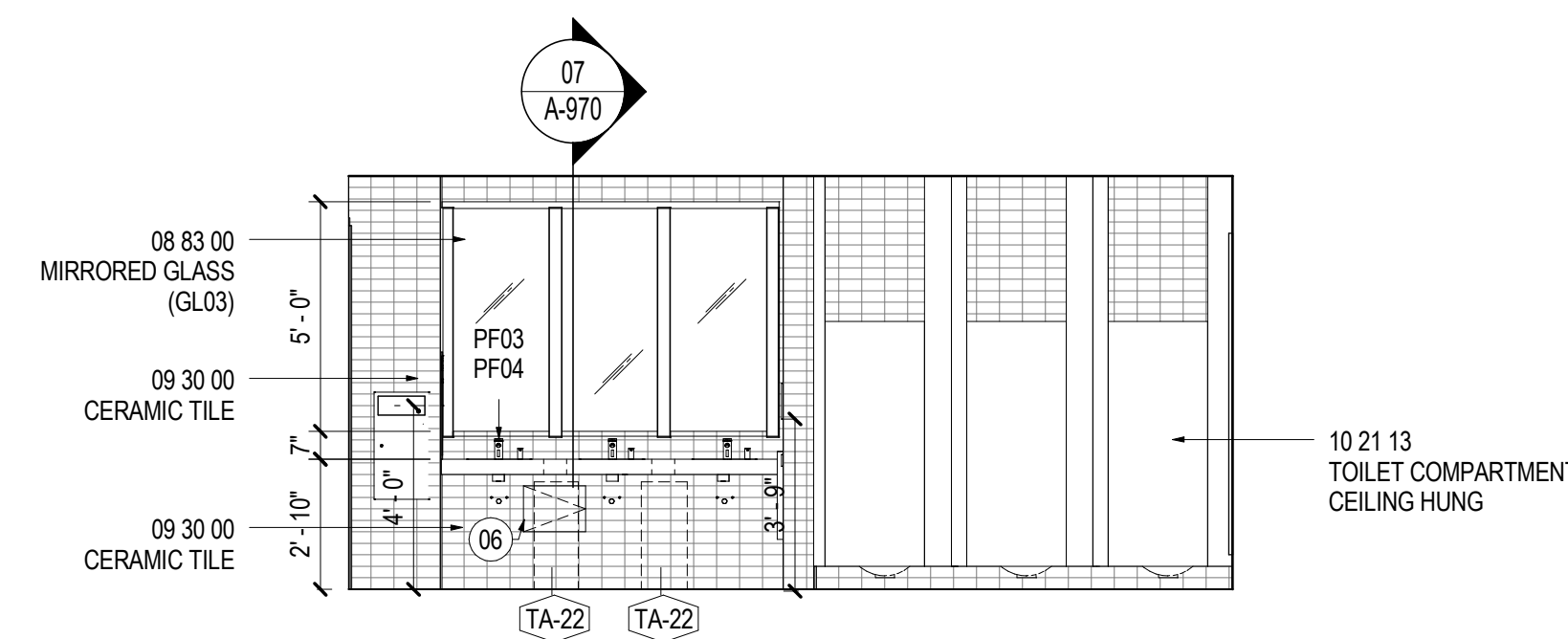
**1A ENLARGED WOMEN'S WASHROOM RCP**  
SCALE: 1/4" = 1'-0"



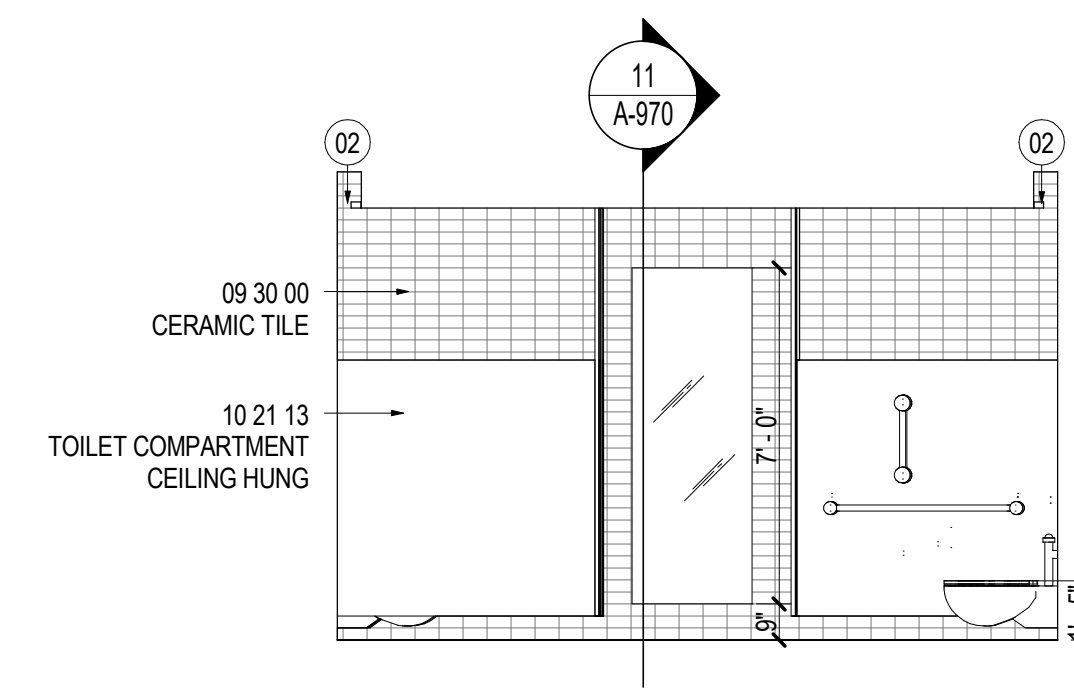
**2D WOMEN'S WASHROOM NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



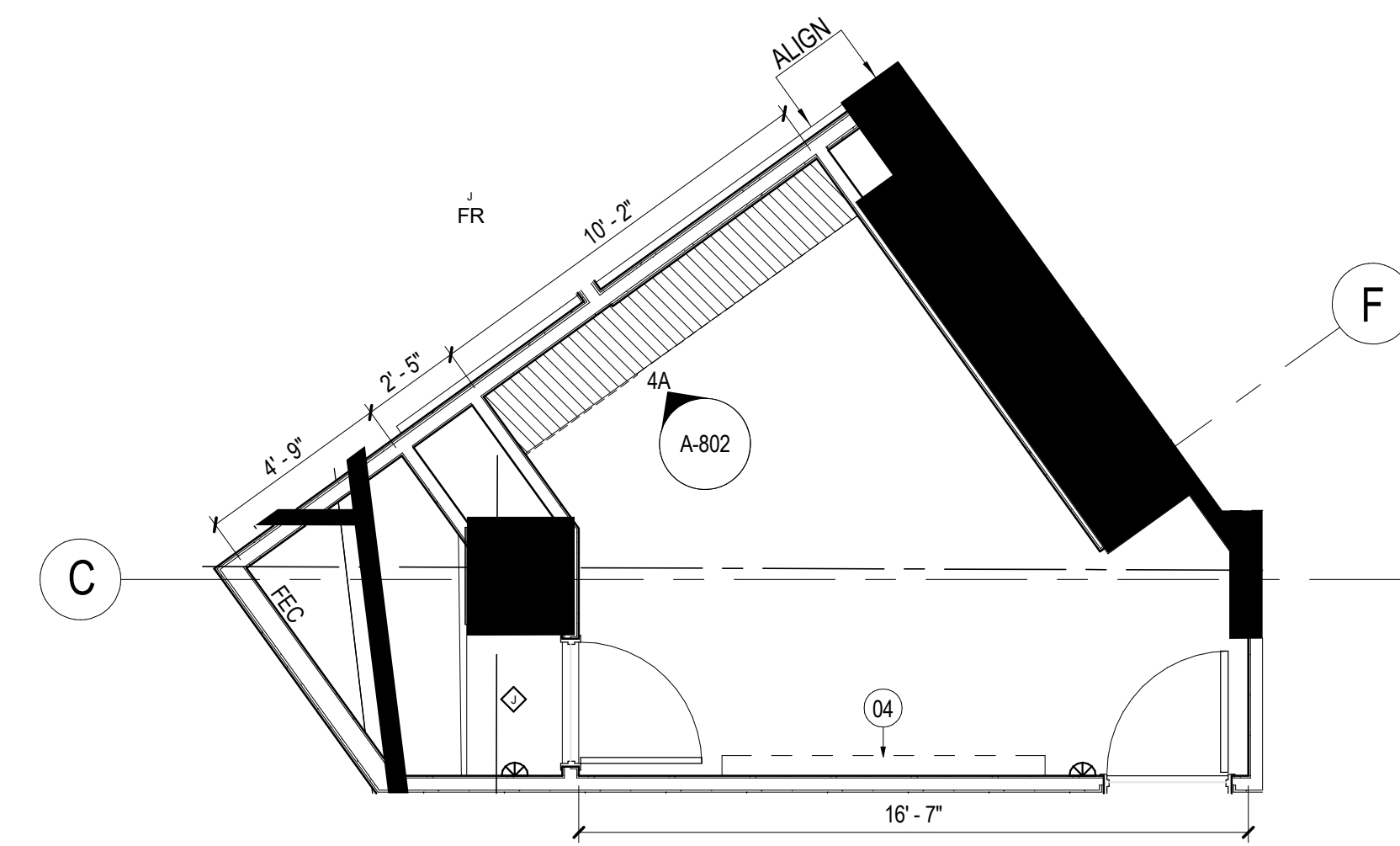
**2C WOMEN'S WASHROOM EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



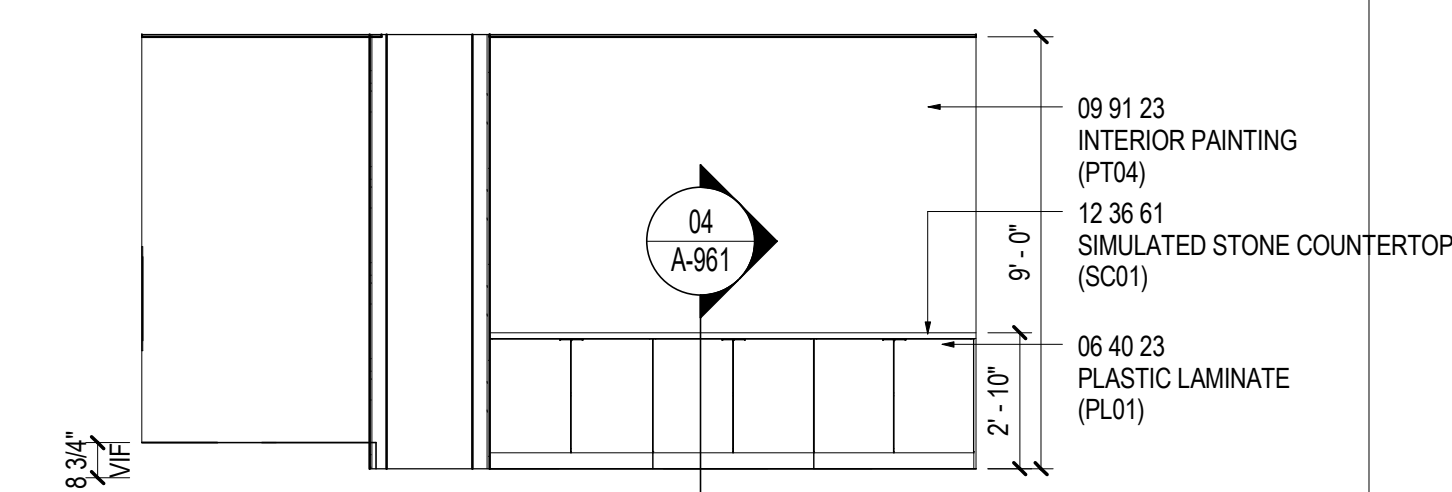
**2B WOMEN'S WASHROOM SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2A WOMEN'S WASHROOM WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3B ENLARGED STAFF LOUNGE PLAN**  
SCALE: 1/4" = 1'-0"



**4A STAFF LOUNGE - NORTH-WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

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**SHEET NOTES**

- 01 PROVIDE ALUMINUM TRIM AT ALL CONVEX CORNERS WITH TILE FINISH.
- 02 WALL COVE MOUNTED LIGHT FIXTURE. REFER TO LIGHTING SPECIFICATIONS.
- 03 FLOOR DRAIN LOCATION. REFER TO ENGINEER'S DRAWINGS.
- 04 LOCKERS - PROVIDED BY FURNITURE VENDOR.
- 05 CENTER COAT HOOK ON GROUT JOINT
- 06 ACCESS PANEL FOR SOAP REFILL.

Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR CONSTRUCTION**

Project Name  
Jackie Robinson Foundation

Project Number  
06.6256.015

Description  
ENLARGED PLANS, ELEVATIONS - GROUND FL RESTROOMS AND STAFF LOUNGE

Scale  
1/4" = 1'-0"

**A-802**

**GENERAL NOTES**

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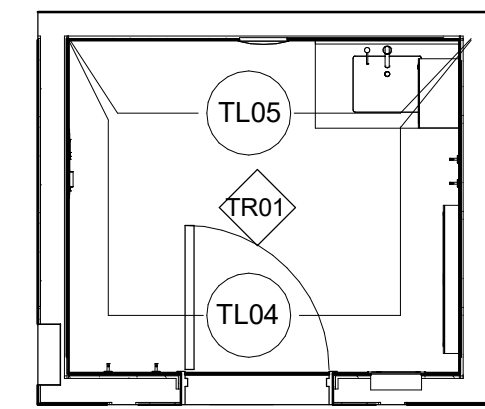
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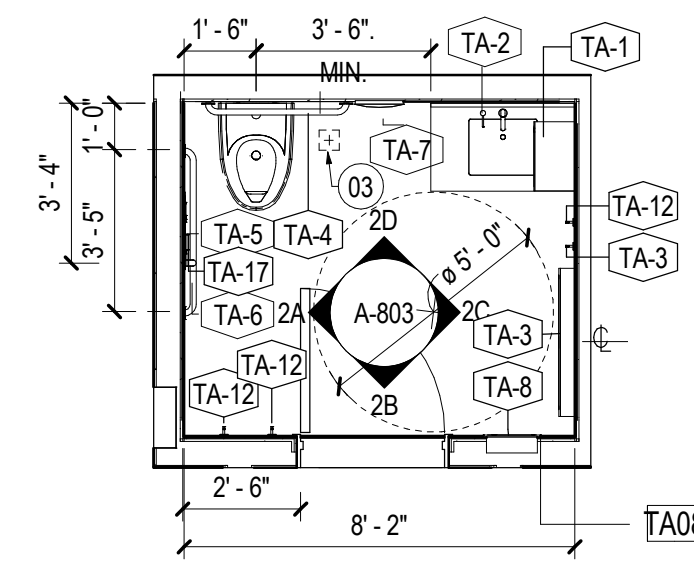
**SHEET NOTES**

- 01 PROVIDE ALUMINUM TRIM AT ALL CONVEX CORNERS WITH TILE FINISH.
- 02 WALL COVE MOUNTED LIGHT FIXTURE. REFER TO LIGHTING SPECIFICATIONS.
- 03 FLOOR DRAIN LOCATION. REFER TO ENGINEER'S DRAWINGS.
- 04 CENTER COAT HOOK ON GROUT JOINT.
- 05 ACCESS PANEL FOR SOAP REFILL.

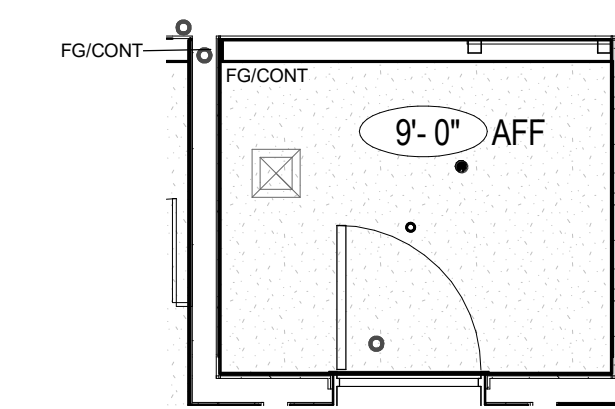
Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2



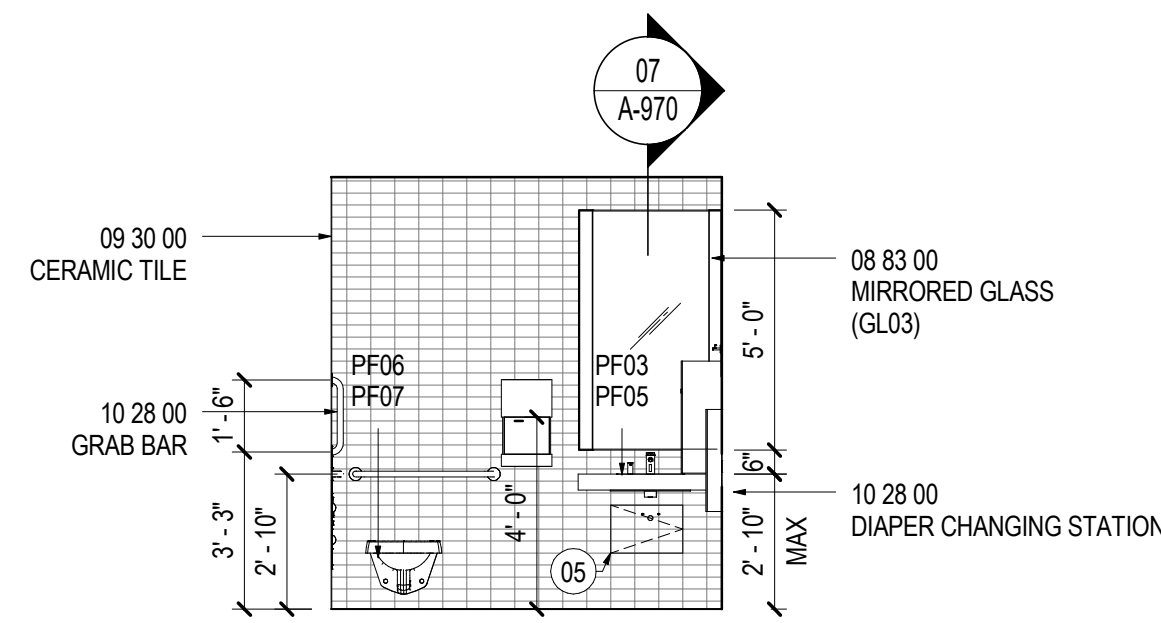
**1C GENDER NEUTRAL WASHROOM FINISH PLAN**  
SCALE: 1/4" = 1'-0"



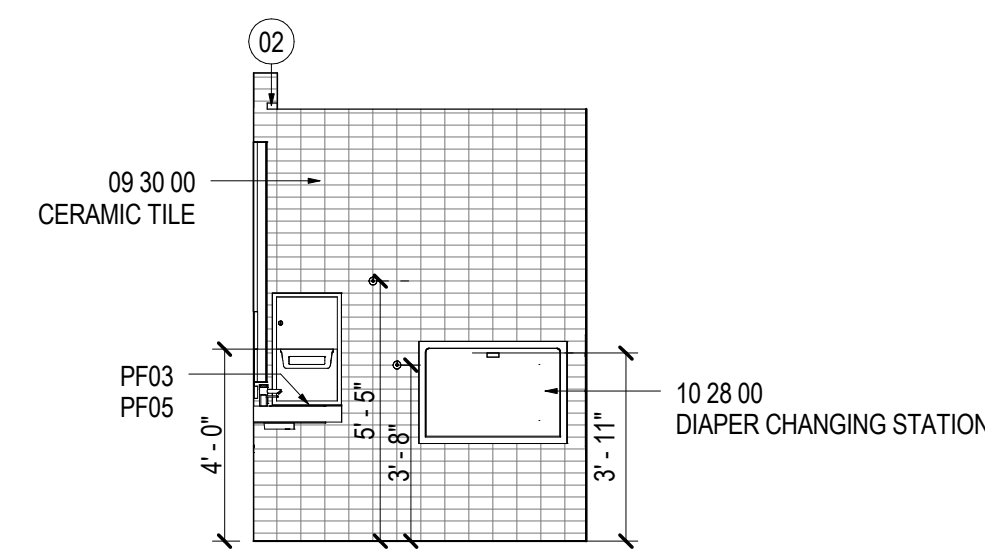
**1B GENDER NEUTRAL WASHROOM PLAN**  
SCALE: 1/4" = 1'-0"



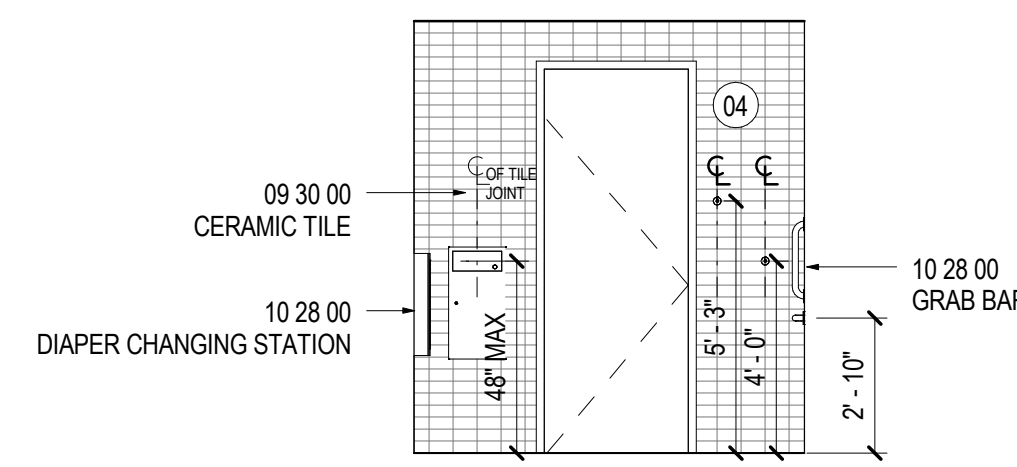
**1A GENDER NEUTRAL WASHROOM RCP**  
SCALE: 1/4" = 1'-0"



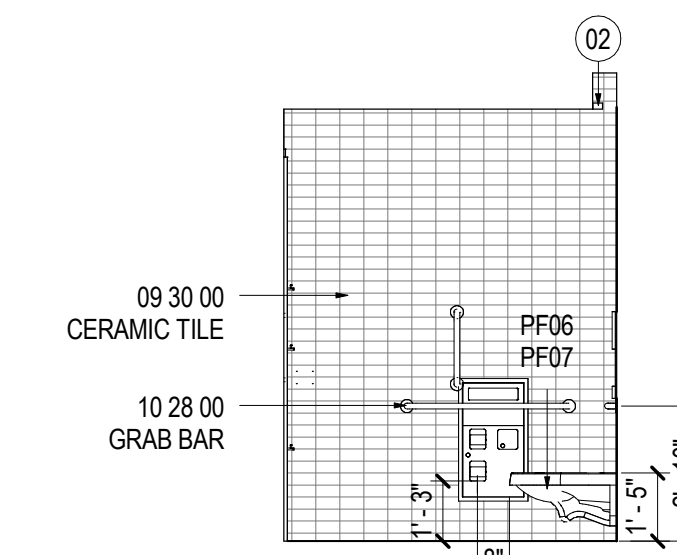
**2D GENDER NEUTRAL WASHROOM NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



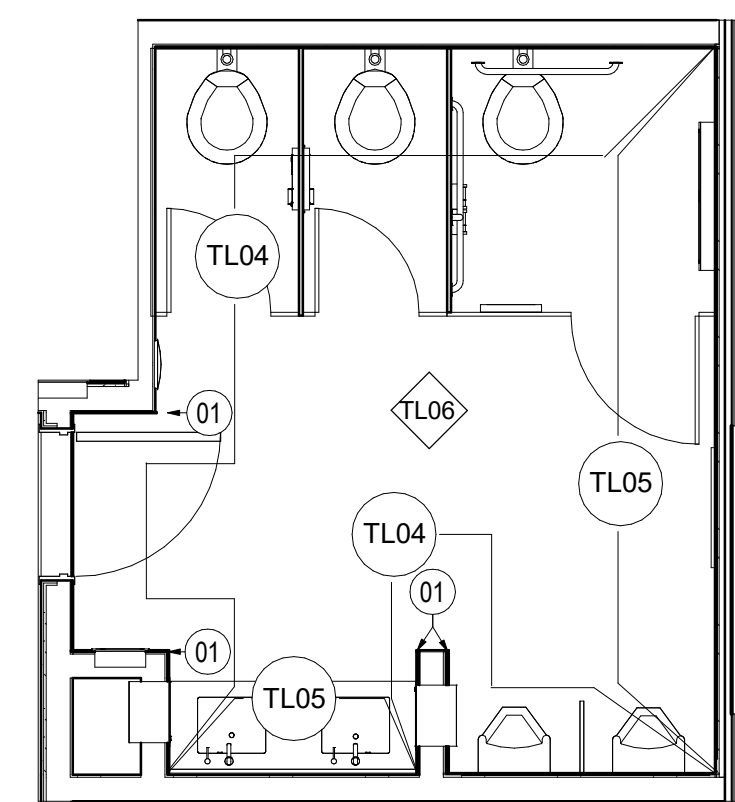
**2C GENDER NEUTRAL WASHROOM EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



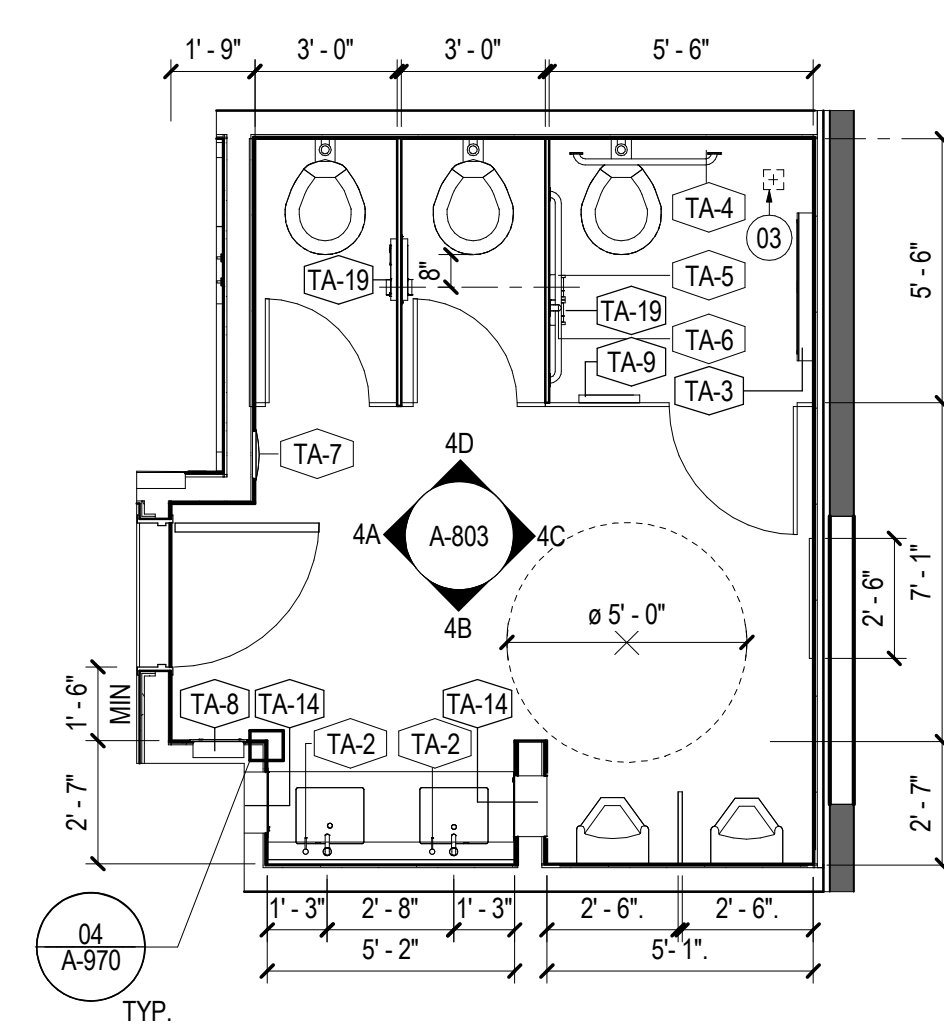
**2B GENDER NEUTRAL WASHROOM SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



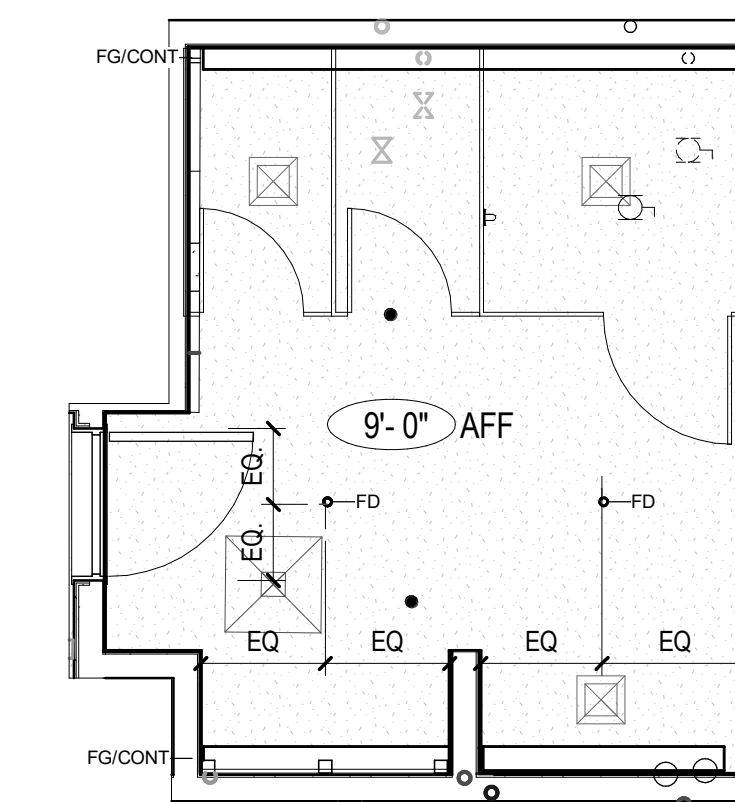
**2A GENDER NEUTRAL WASHROOM WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



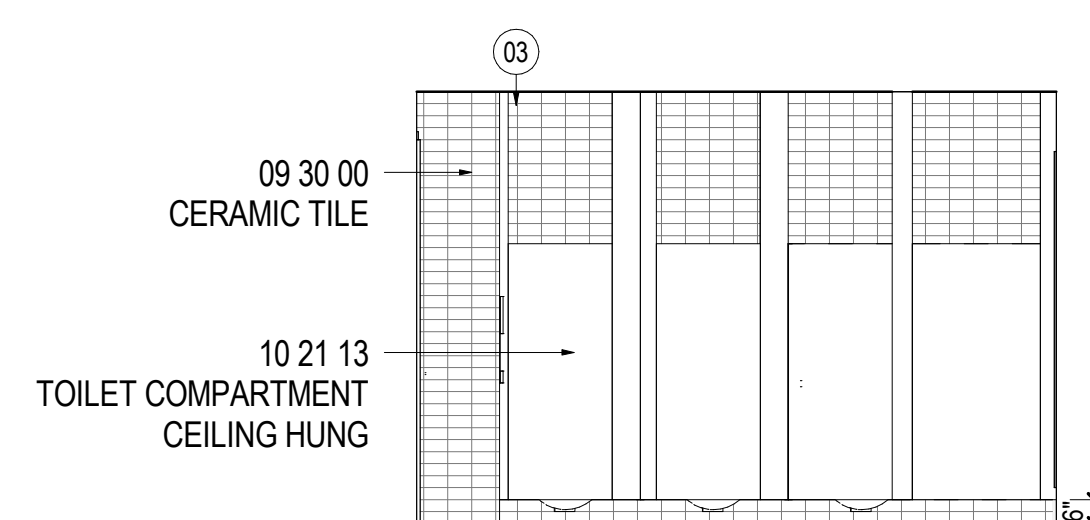
**3C MEN'S WASHROOM FINISH PLAN**  
SCALE: 1/4" = 1'-0"



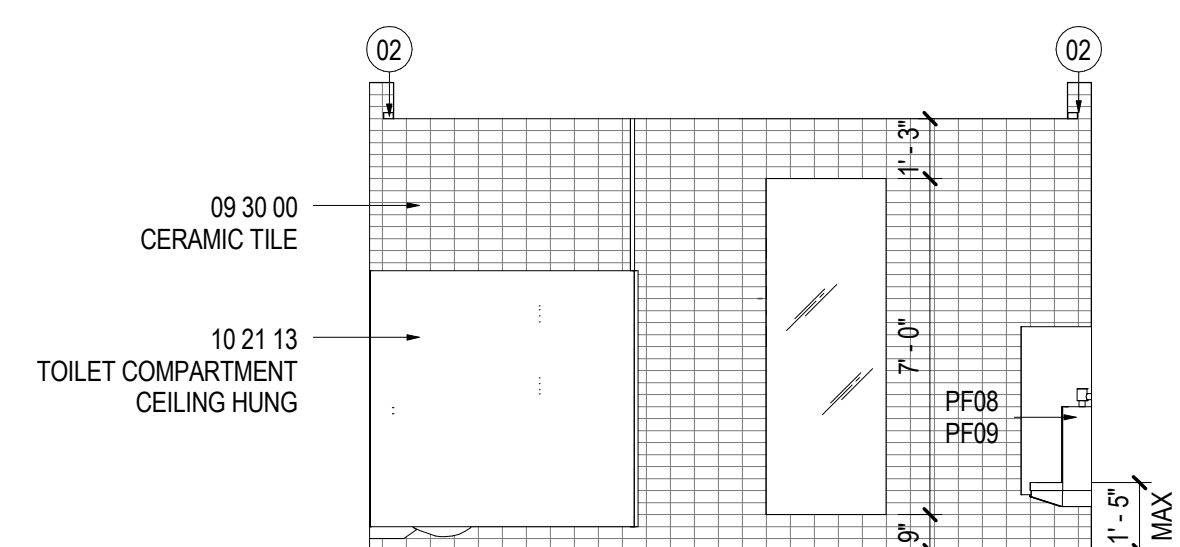
**3B MEN'S WASHROOM PLAN**  
SCALE: 1/4" = 1'-0"



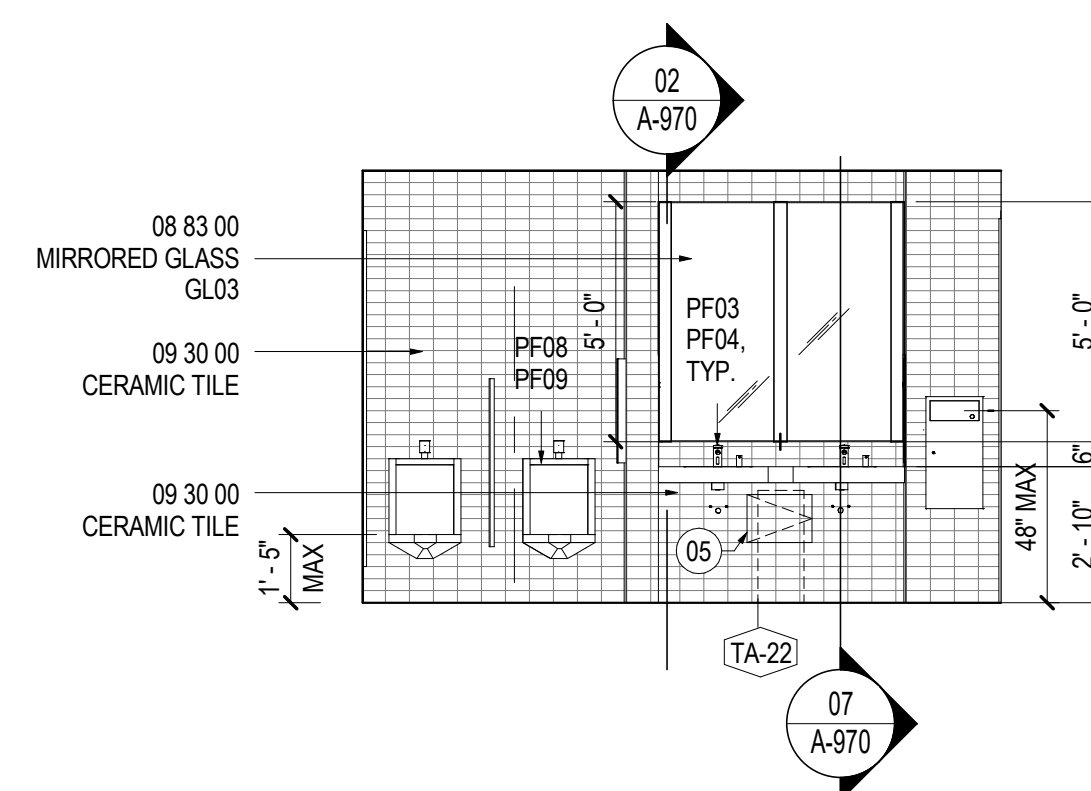
**3A MEN'S WASHROOM RCP**  
SCALE: 1/4" = 1'-0"



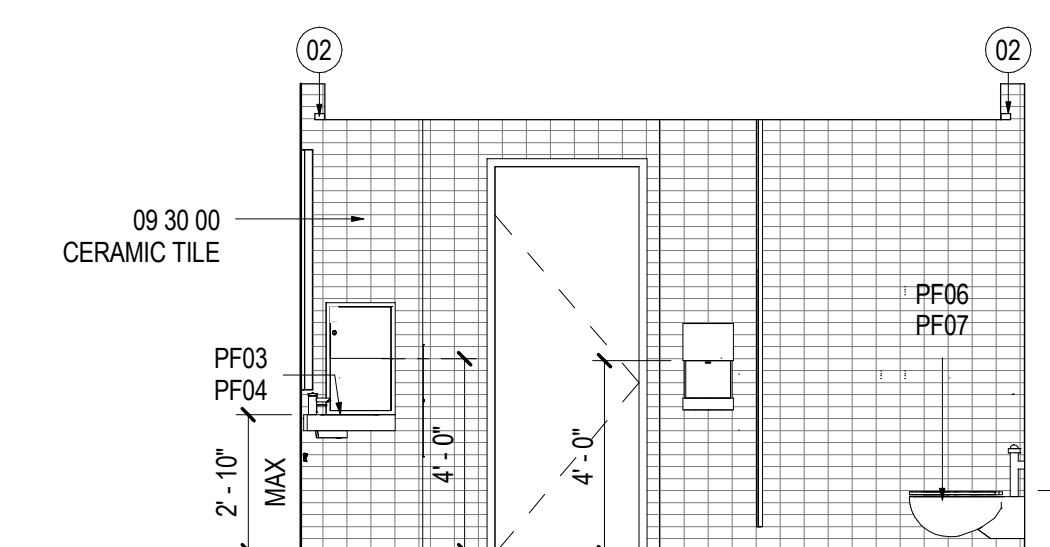
**4D MEN'S WASHROOM NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4C MEN'S WASHROOM EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**4B MEN'S WASHROOM SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4A MEN'S WASHROOM WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**NOT FOR CONSTRUCTION**

Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

Description  
ENLARGED PLANS, ELEVATIONS - GROUND FL RESTROOMS

Scale  
1/4" = 1'-0"

**A-803**

**GENERAL NOTES**

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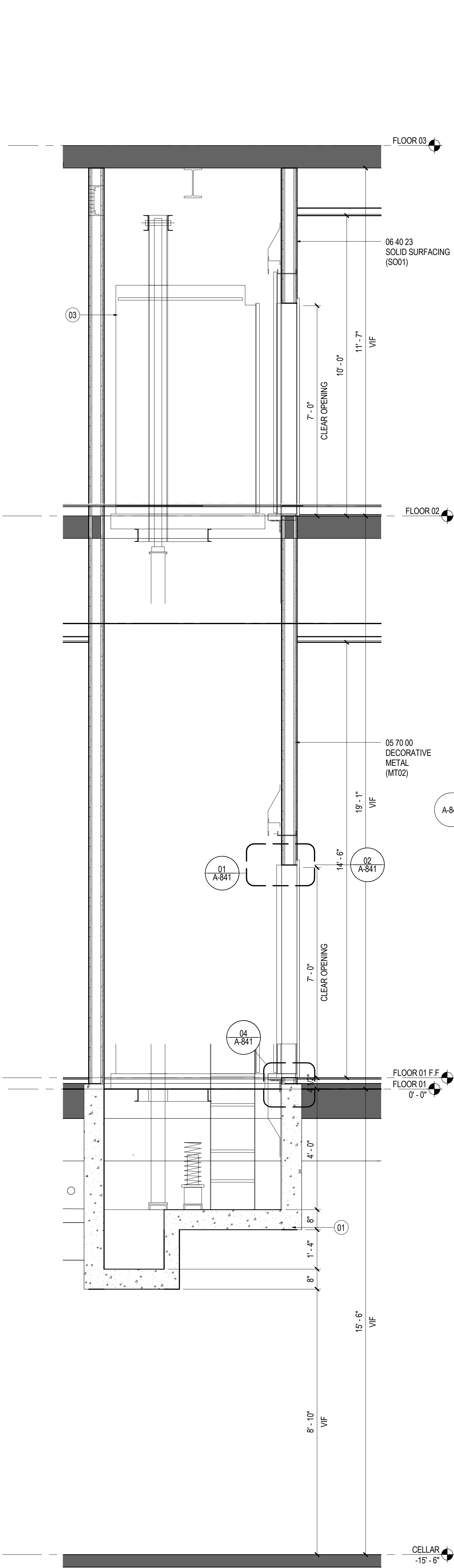
Cerami  
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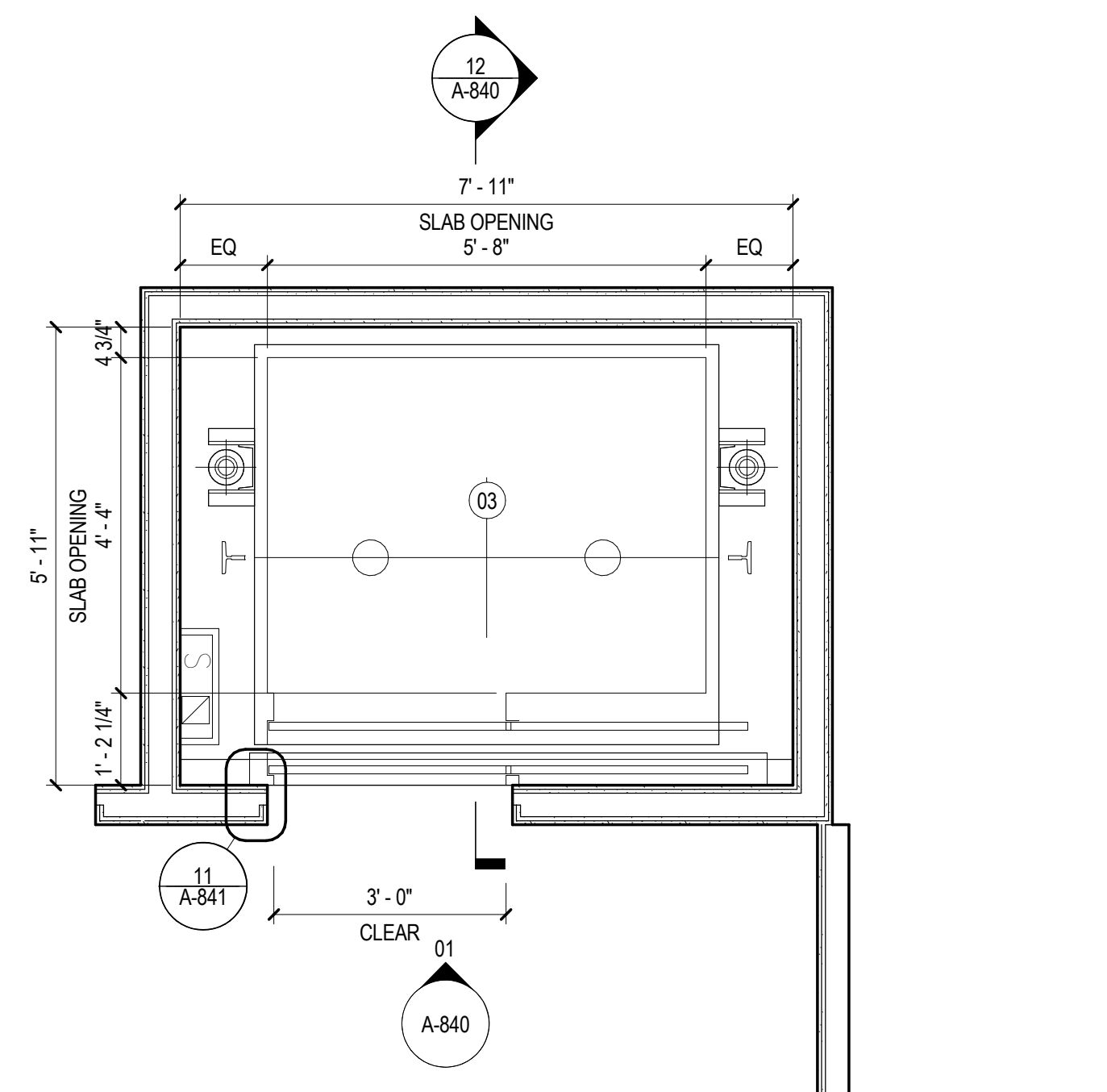
**SHEET NOTES**

- 01 HANGING ELEVATOR/SUMP PIT. REFER TO ENGINEER'S DRAWINGS.
- 02 PROVIDE PLYWOOD BACKING FOR DISPLAY SCREEN MOUNTING. FOR MORE INFORMATION ON SCREEN AND WIRING, REFER TO EXHIBIT DESIGNER'S DRAWINGS.
- 03 REFER TO ELEVATOR PACKAGE FOR MORE INFORMATION.
- 07 REFER TO DOOR SCHEDULE.
- 08 REFER TO FINISH SCHEDULE FOR ALTERNATE FINISH. REFER TO ALTERNATE DETAILS.
- 09 WITH ALTERNATE FINISH PROVIDE DOOR DETAILS 11A-841 AND 15A-841.

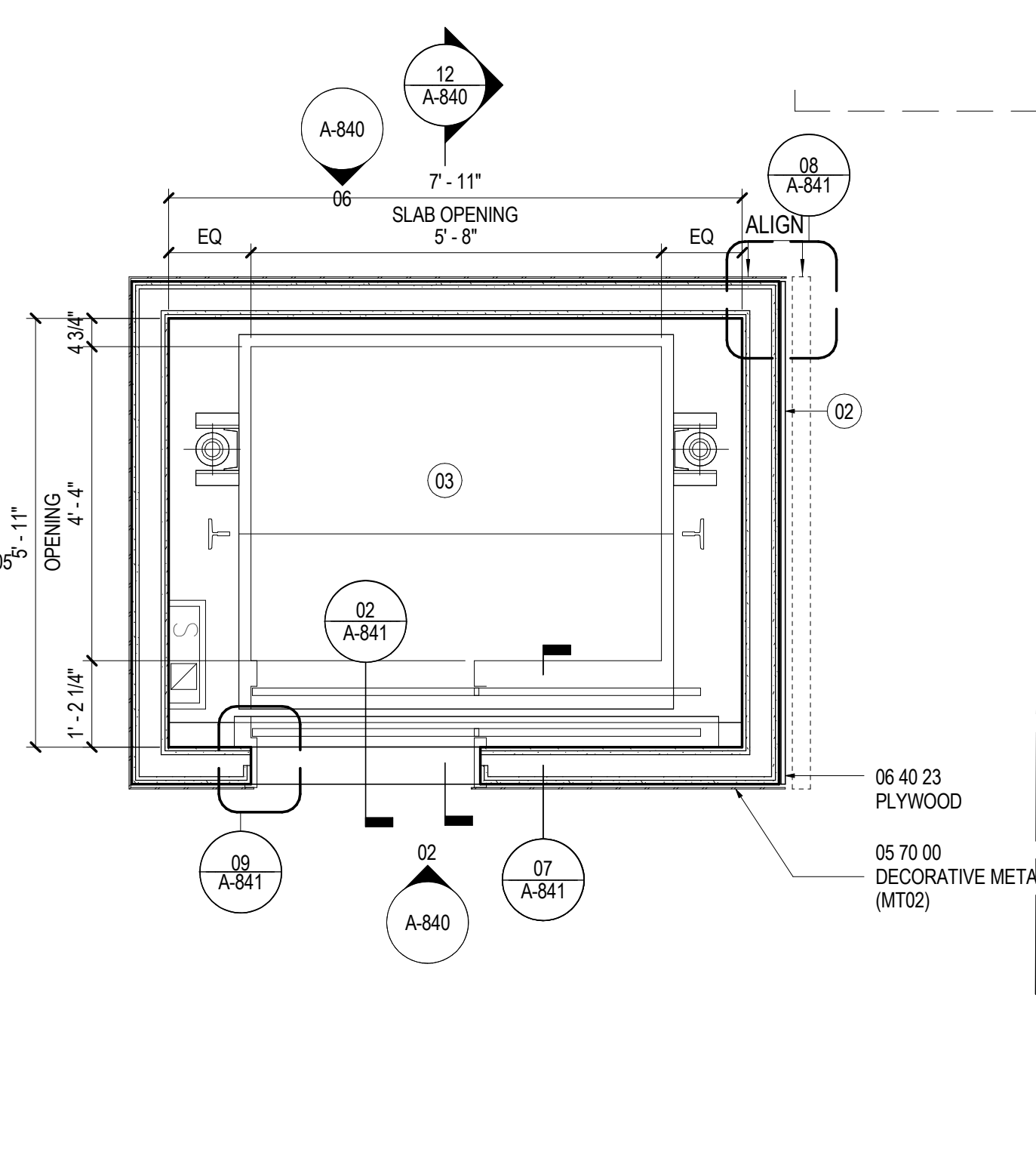
Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2



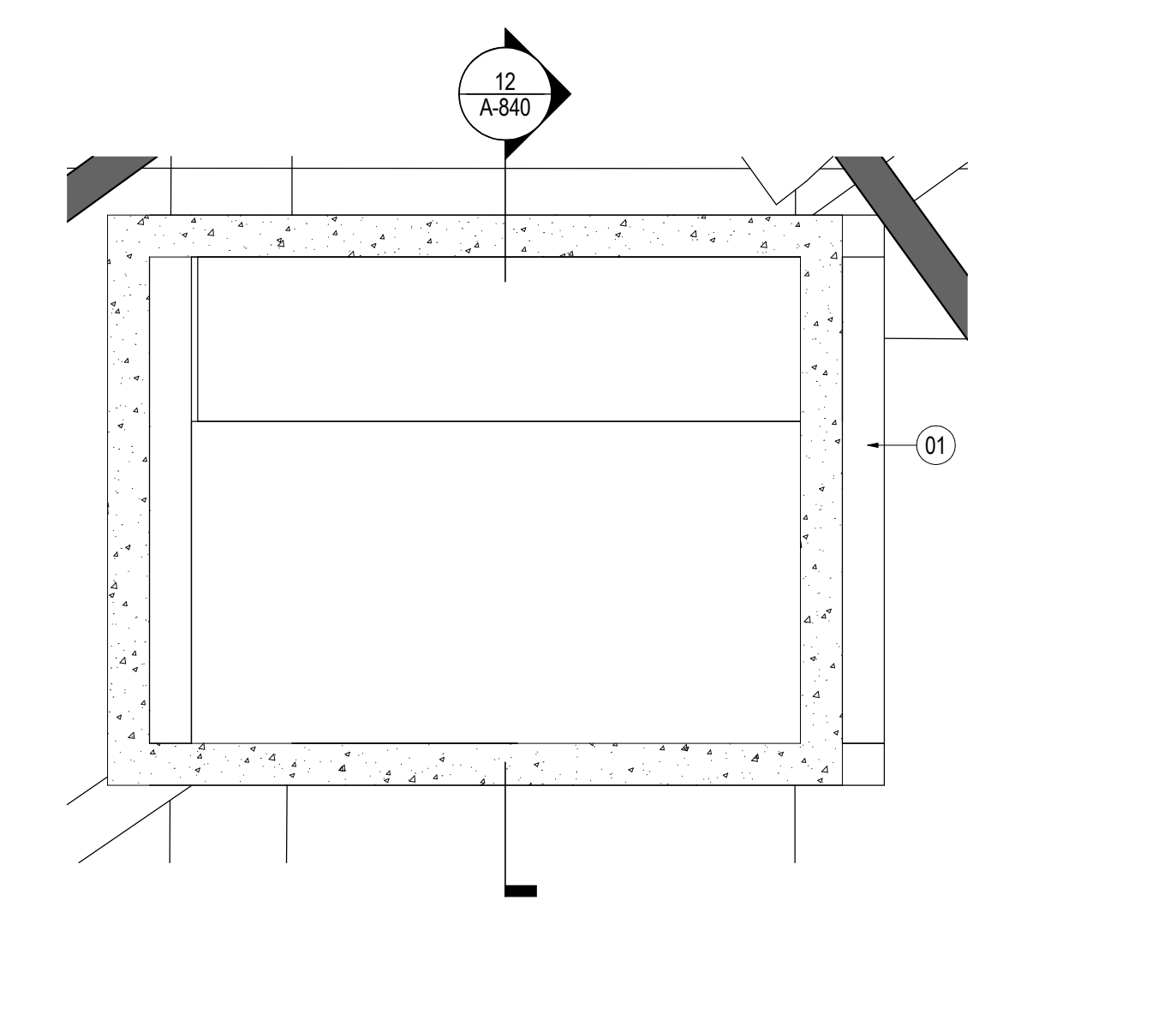
**12 ELEVATOR SECTION**  
SCALE: 1/2" = 1'-0"



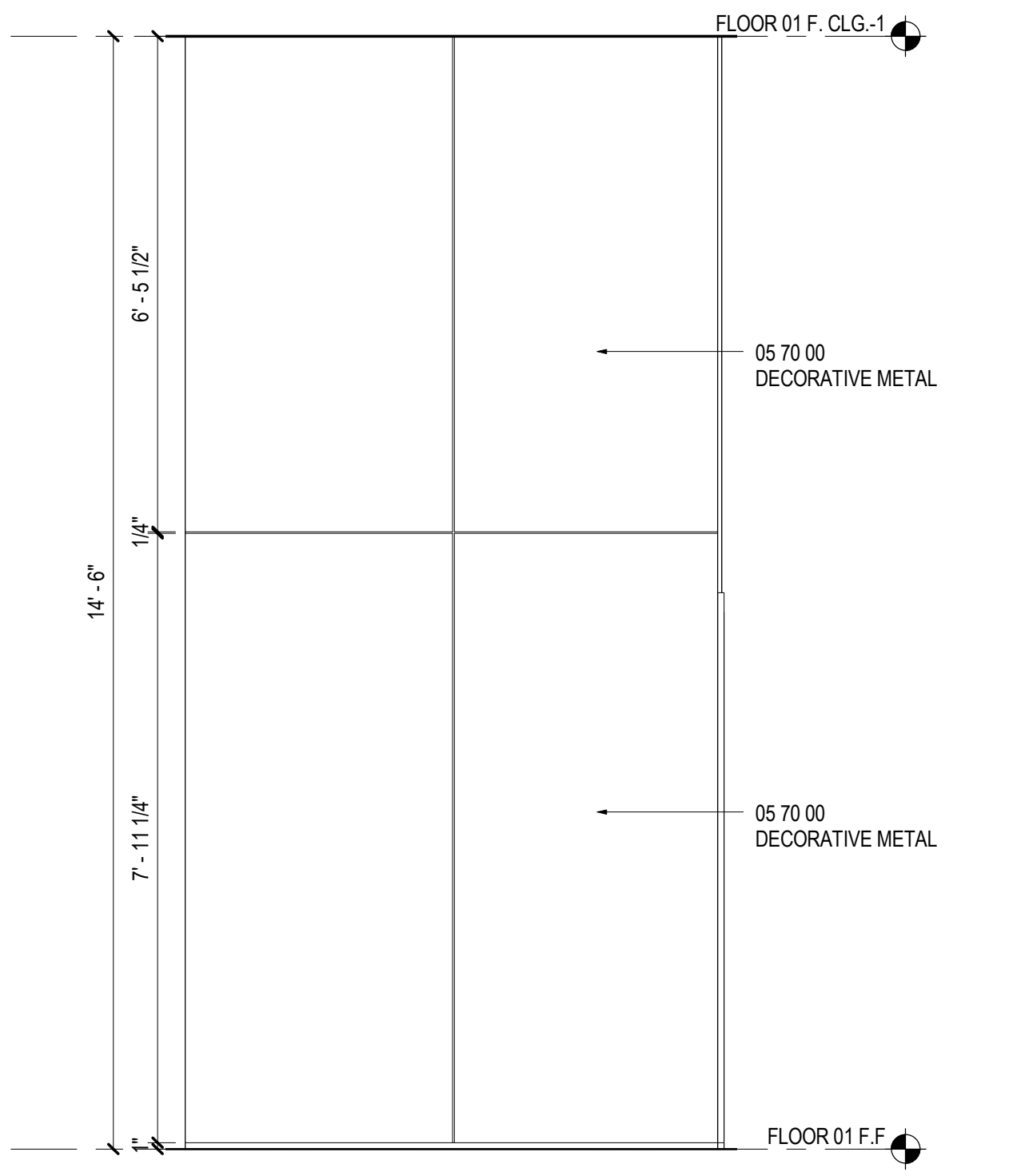
**07 ENLARGED ELEVATOR PLAN - FLOOR 02**  
SCALE: 1/2" = 1'-0"



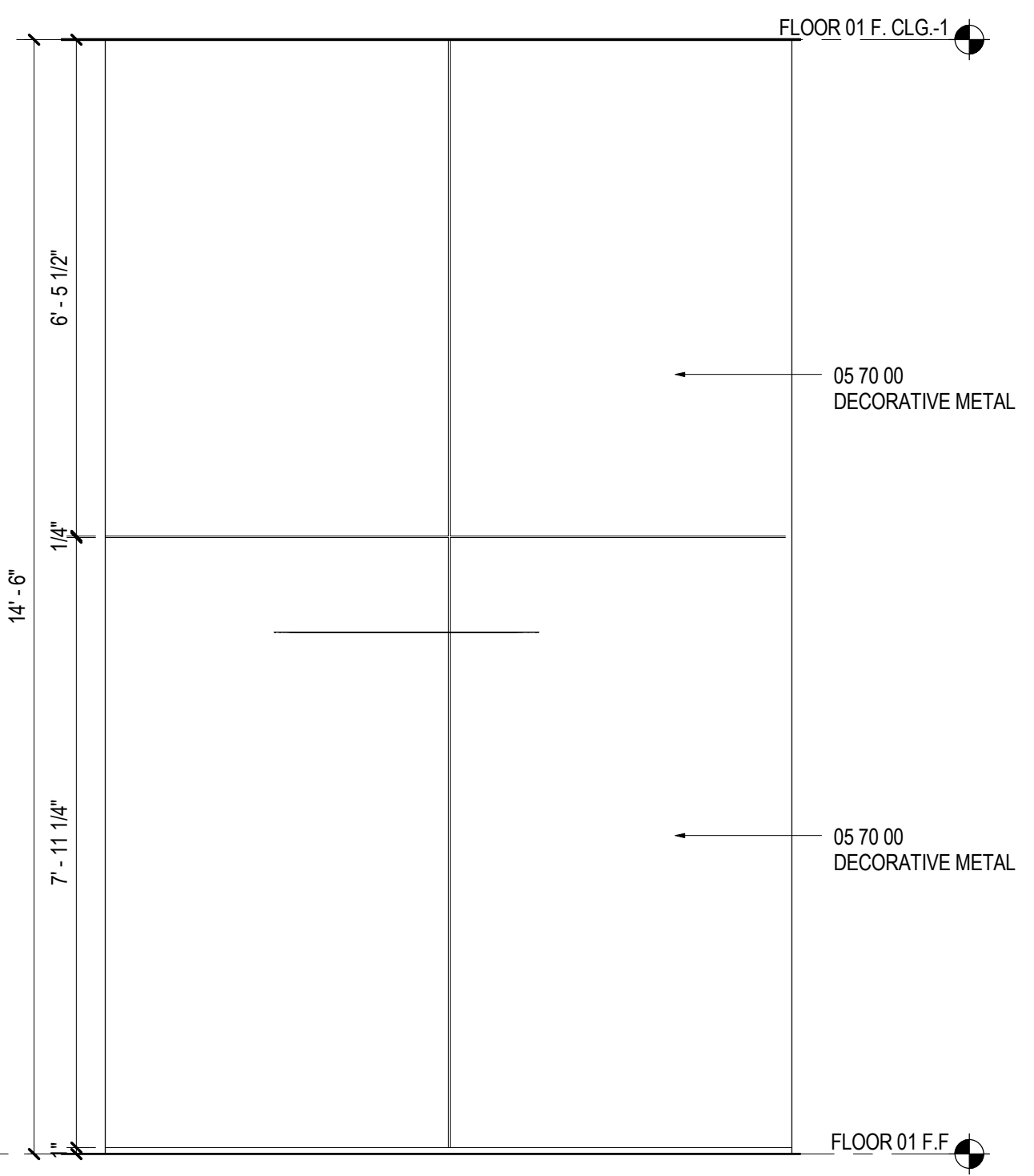
**08 ENLARGED ELEVATOR PLAN - FLOOR 1**  
SCALE: 1/2" = 1'-0"



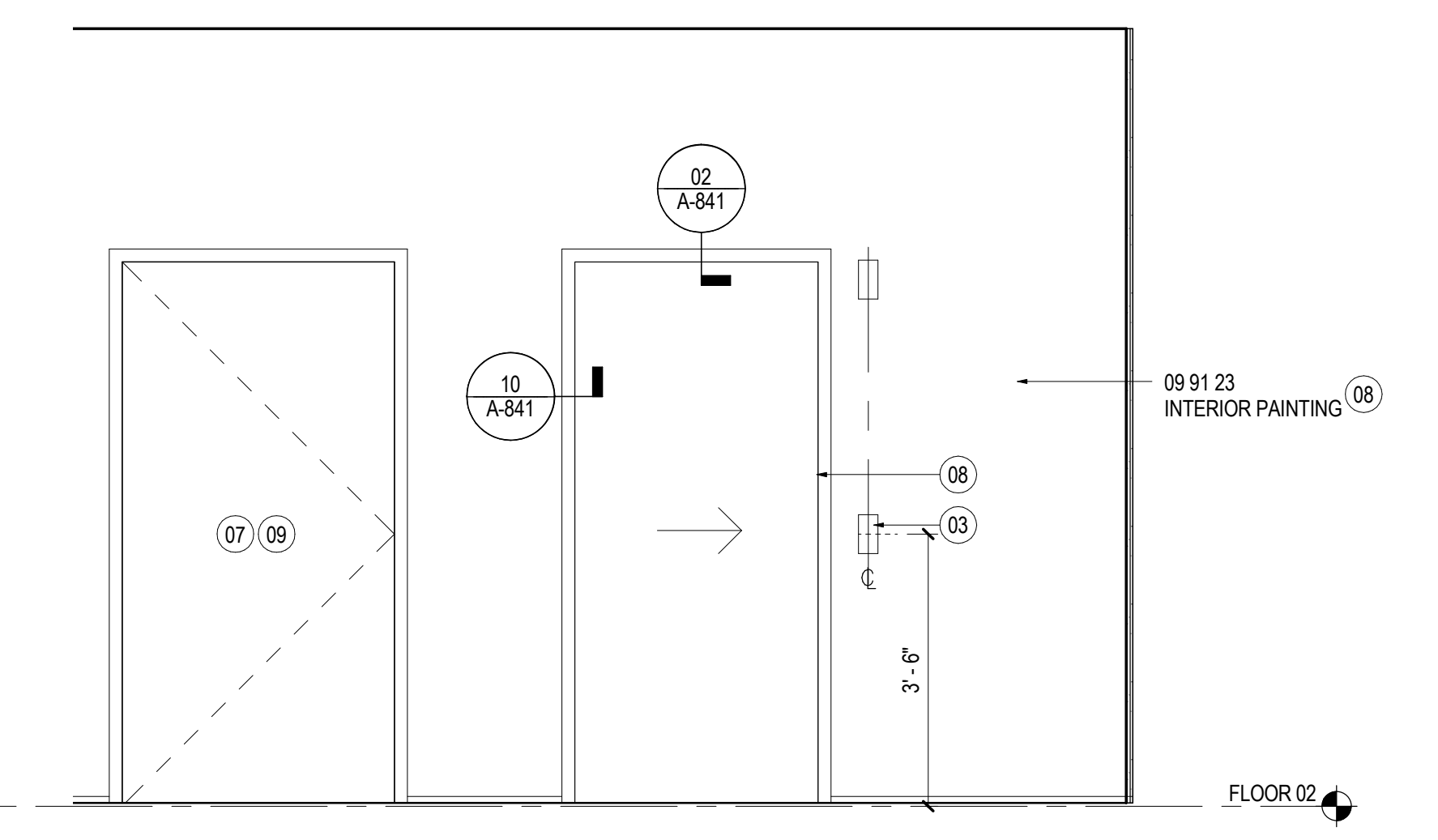
**09 ENLARGED HANGING PIT PLAN**  
SCALE: 1/2" = 1'-0"



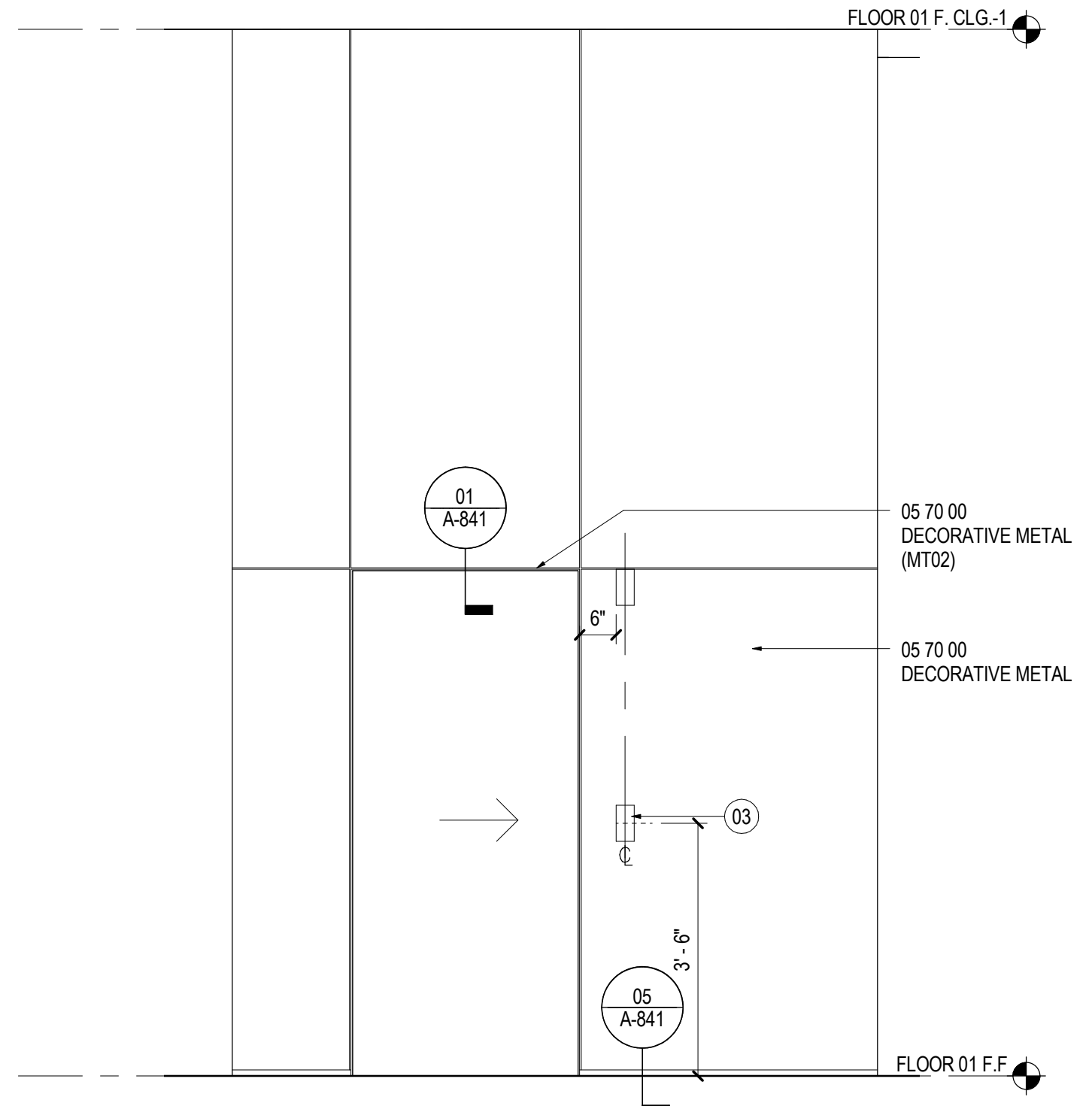
**05 ELEVATOR WEST ELEVATION - FLOOR 1**  
SCALE: 1/2" = 1'-0"



**06 ELEVATOR NORTH ELEVATION - FLOOR 1**  
SCALE: 1/2" = 1'-0"



**01 ELEVATOR ELEVATION - FLOOR 2**  
SCALE: 1/2" = 1'-0"



**02 ELEVATOR SOUTH ELEVATION - FLOOR 1**  
SCALE: 1/2" = 1'-0"

**NOT FOR CONSTRUCTION**

Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

Description  
**ELEVATOR PLANS AND SECTION**

Scale  
**1/2" = 1'-0"**

**A-840**

**GENERAL NOTES**

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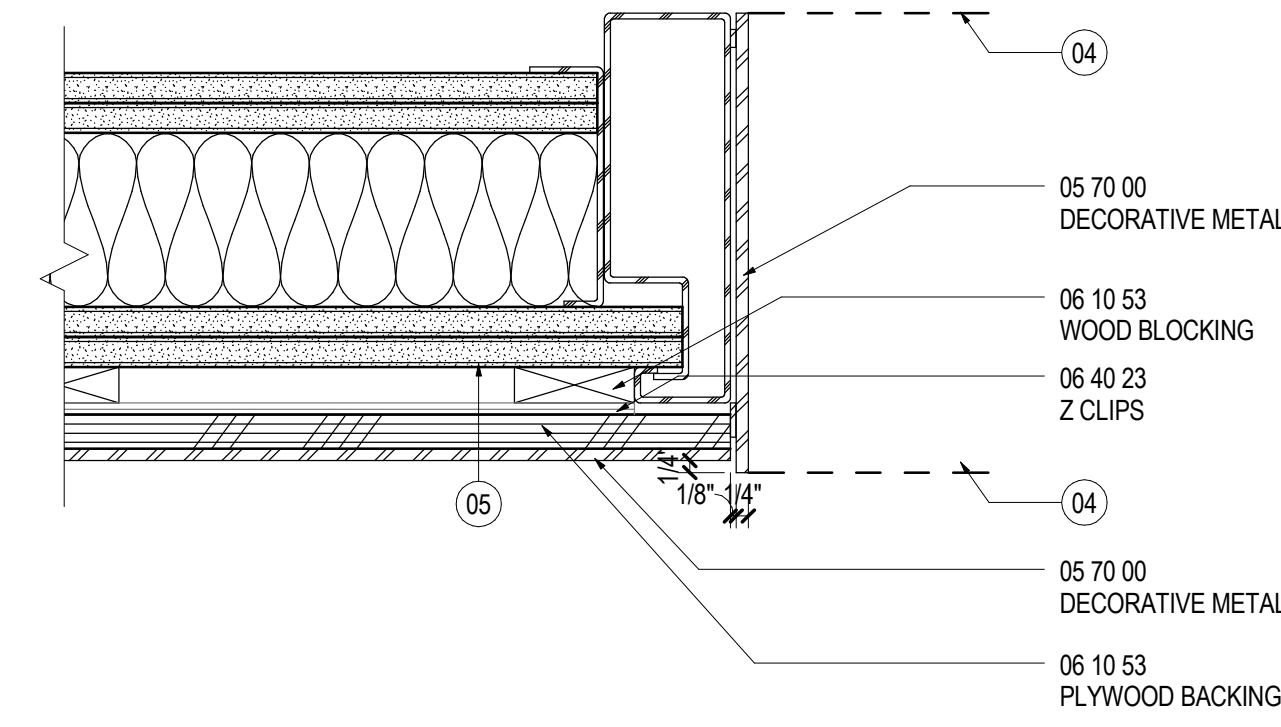
Cerami  
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New York, NY 10018  
Tel: 212.370.1776

Van Deusen & Associates  
Vertical Transportation Consultant  
120 Eagle Rock Avenue  
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East Hanover, NJ 07936  
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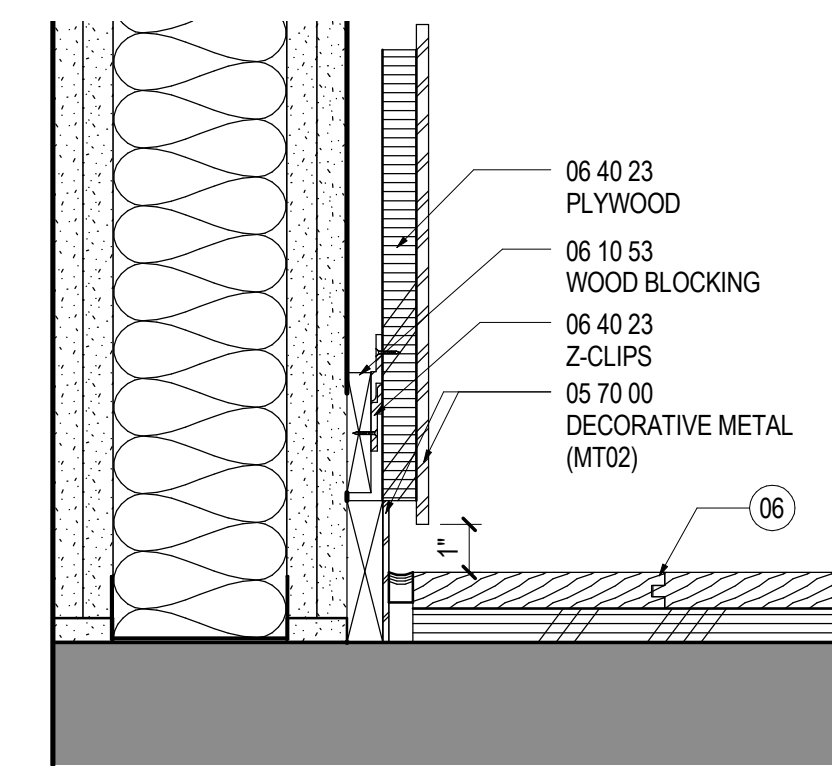
**SHEET NOTES**

- 02 PROVIDE PLYWOOD BACKING FOR DISPLAY SCREEN MOUNTING. FOR MORE INFORMATION ON SCREEN AND WIRING, REFER TO EXHIBIT DESIGNER'S DRAWINGS.
- 04 LINE OF FRAME ABOVE.
- 05 SCHEDULED PARTITION.
- 06 SCHEDULED FINISH FLOOR. REFER TO FINISH PLAN FOR MORE INFORMATION.

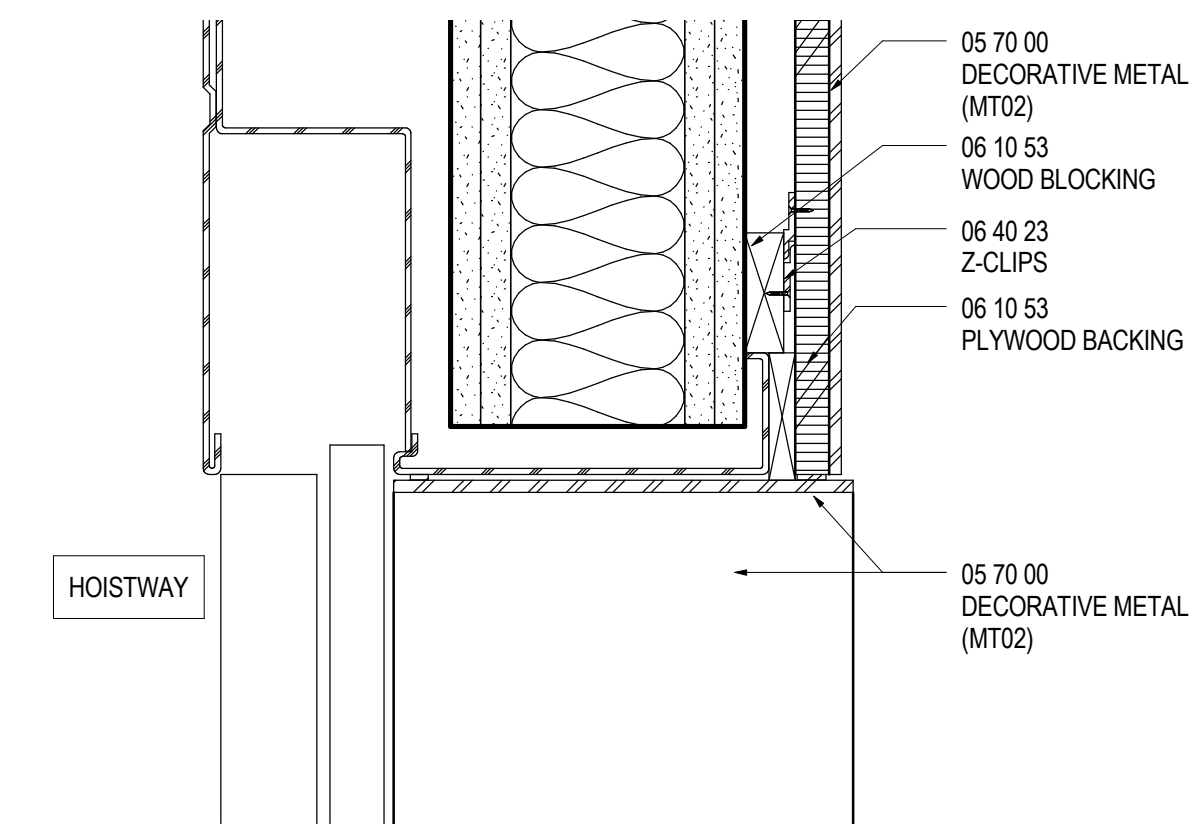
Date	Description
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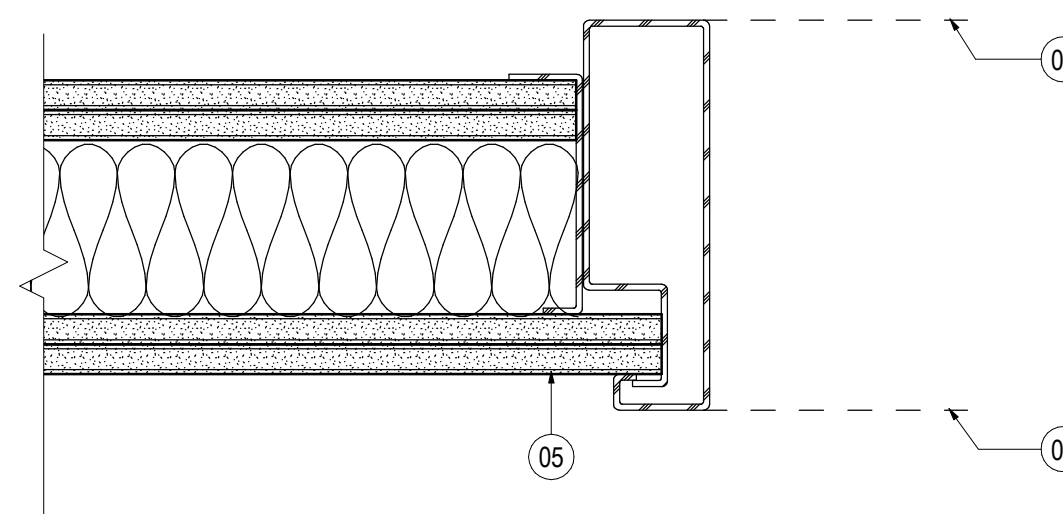
**09 ELEV. DOOR JAMB - METAL PANEL**  
SCALE: 3" = 1'-0"



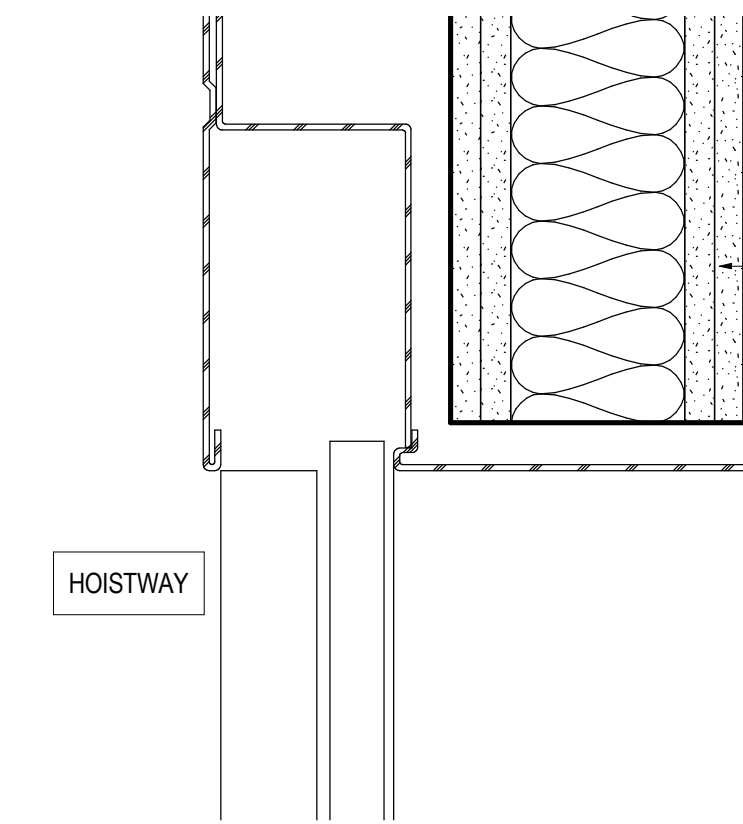
**05 WALL BASE DETAIL - METAL PANEL**  
SCALE: 3" = 1'-0"



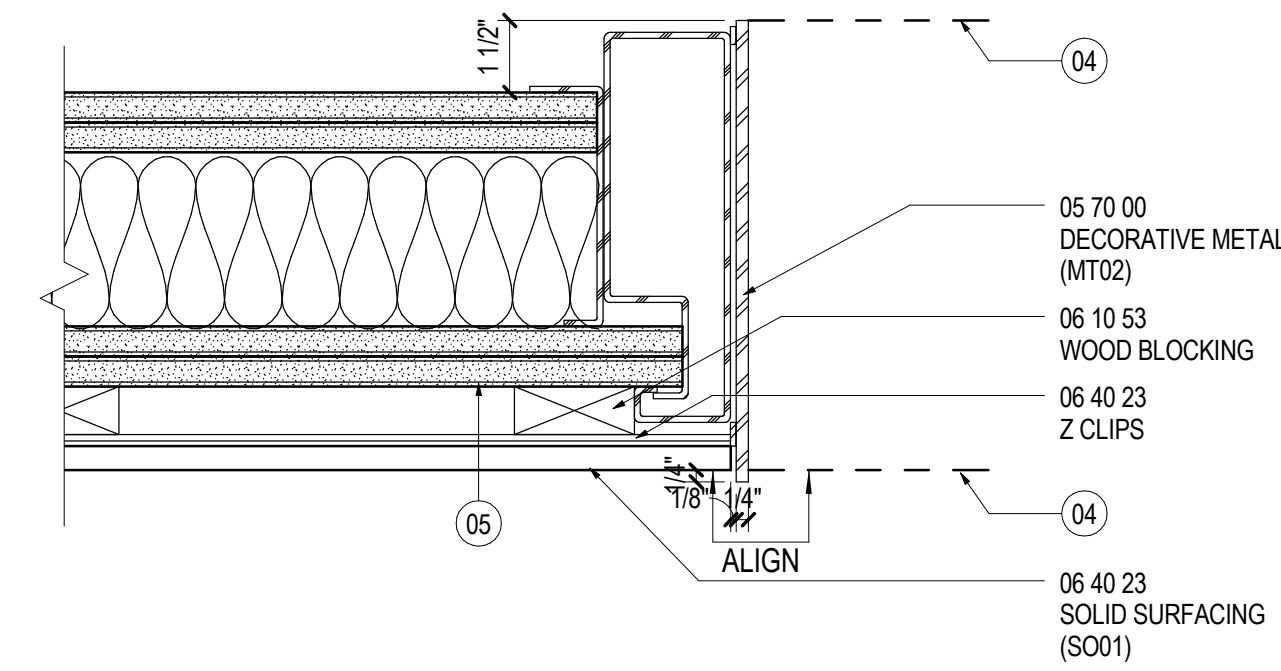
**01 ELEV. DOOR HEAD DETAIL - METAL PANEL**  
SCALE: 3" = 1'-0"



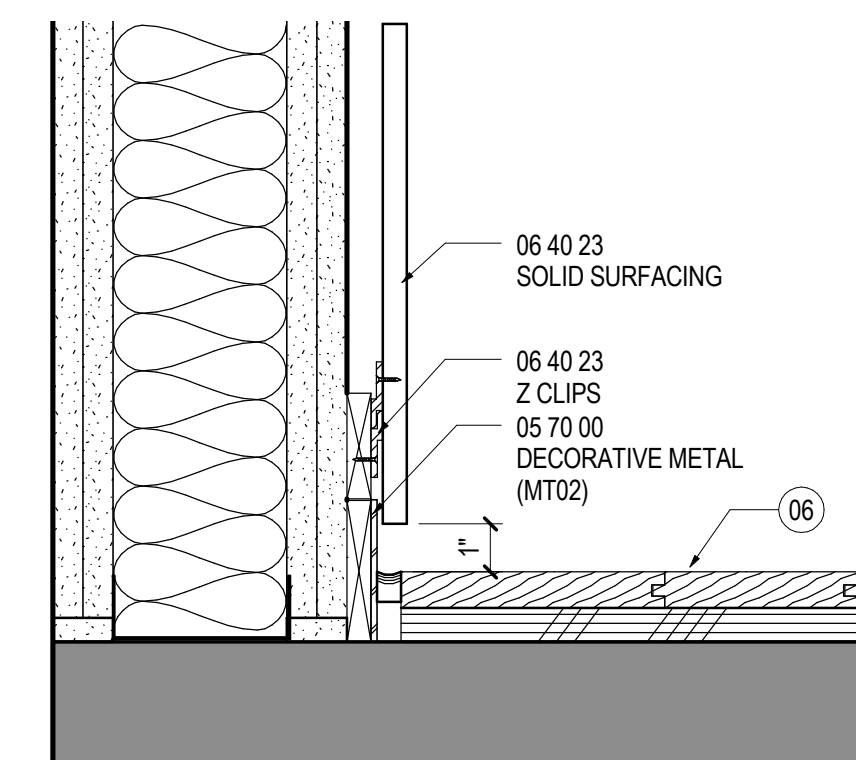
**10 ELEV. DOOR JAMB - STANDARD METAL FRAME AND GWB**  
SCALE: 3" = 1'-0"



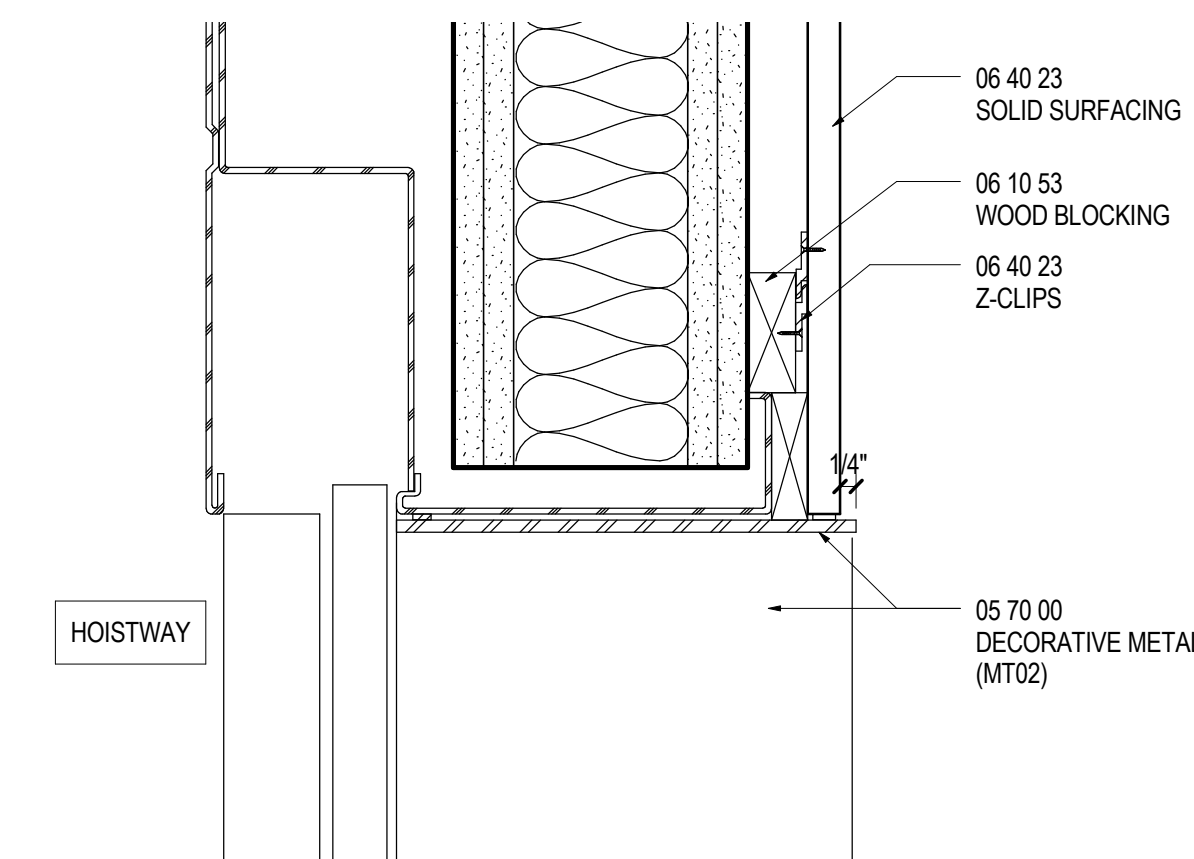
**02 ELEV. DOOR HEAD DETAIL - STANDARD**  
SCALE: 3" = 1'-0"



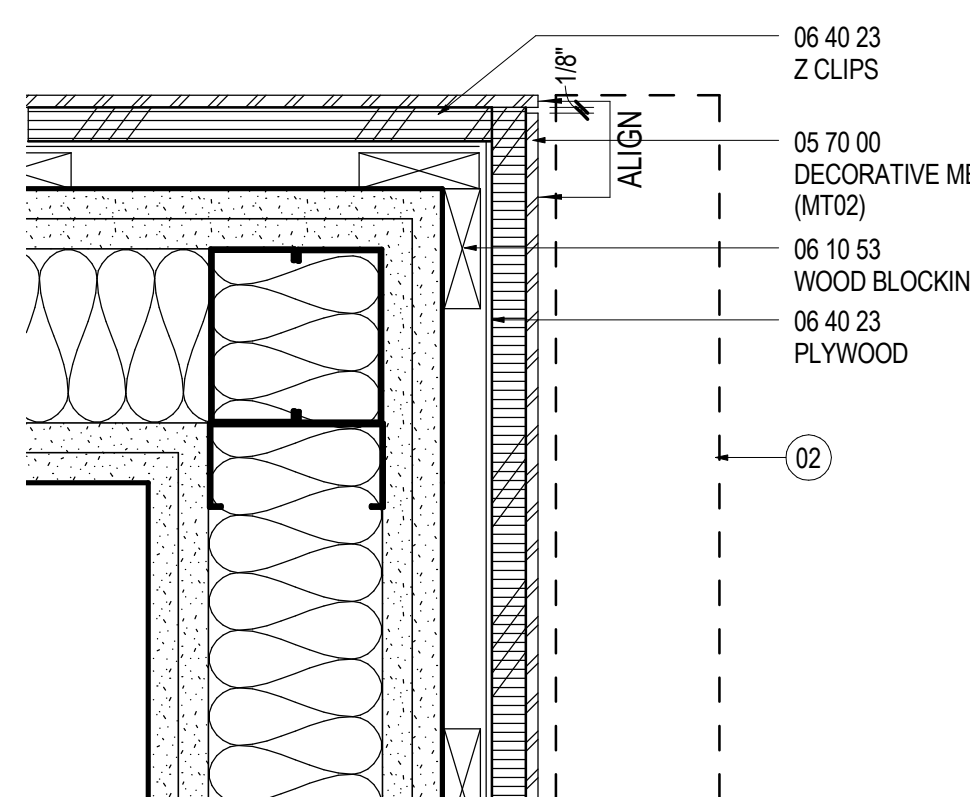
**11 ELEV. DOOR JAMB - ALTERNATE**  
SCALE: 3" = 1'-0"



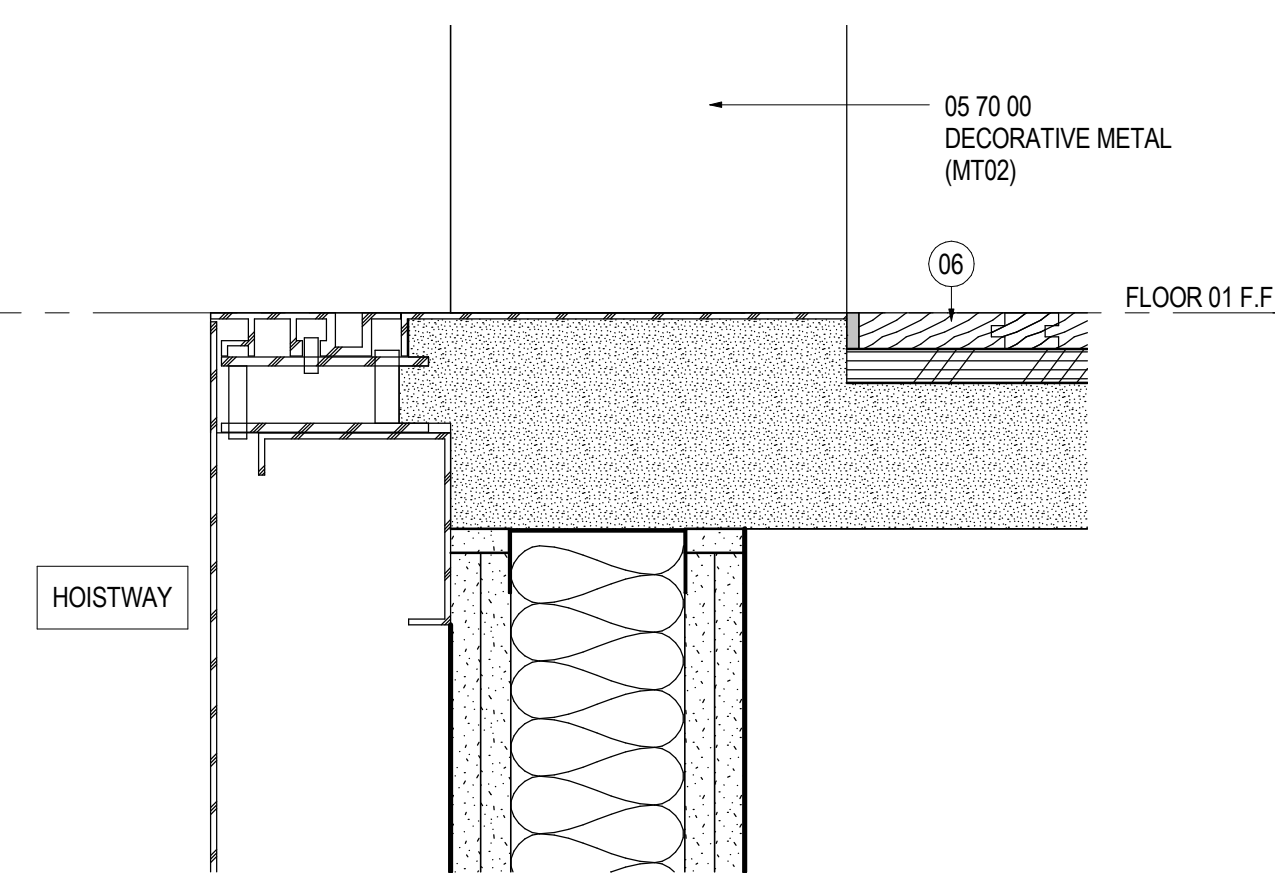
**07 WALL BASE DETAIL - ALTERNATE**  
SCALE: 3" = 1'-0"



**03 ELEV. DOOR HEAD DETAIL - ALTERNATE**  
SCALE: 3" = 1'-0"



**08 ELEV. ENCLOSURE DETAIL**  
SCALE: 3" = 1'-0"



**04 ELEV. DOOR SILL DETAIL**  
SCALE: 3" = 1'-0"

**NOT FOR CONSTRUCTION**

Project Name  
Jackie Robinson Foundation  
Project Number  
06.6256.015  
Description  
ELEVATOR DETAILS

Scale  
3" = 1'-0"

**A-841**

**GENERAL NOTES**

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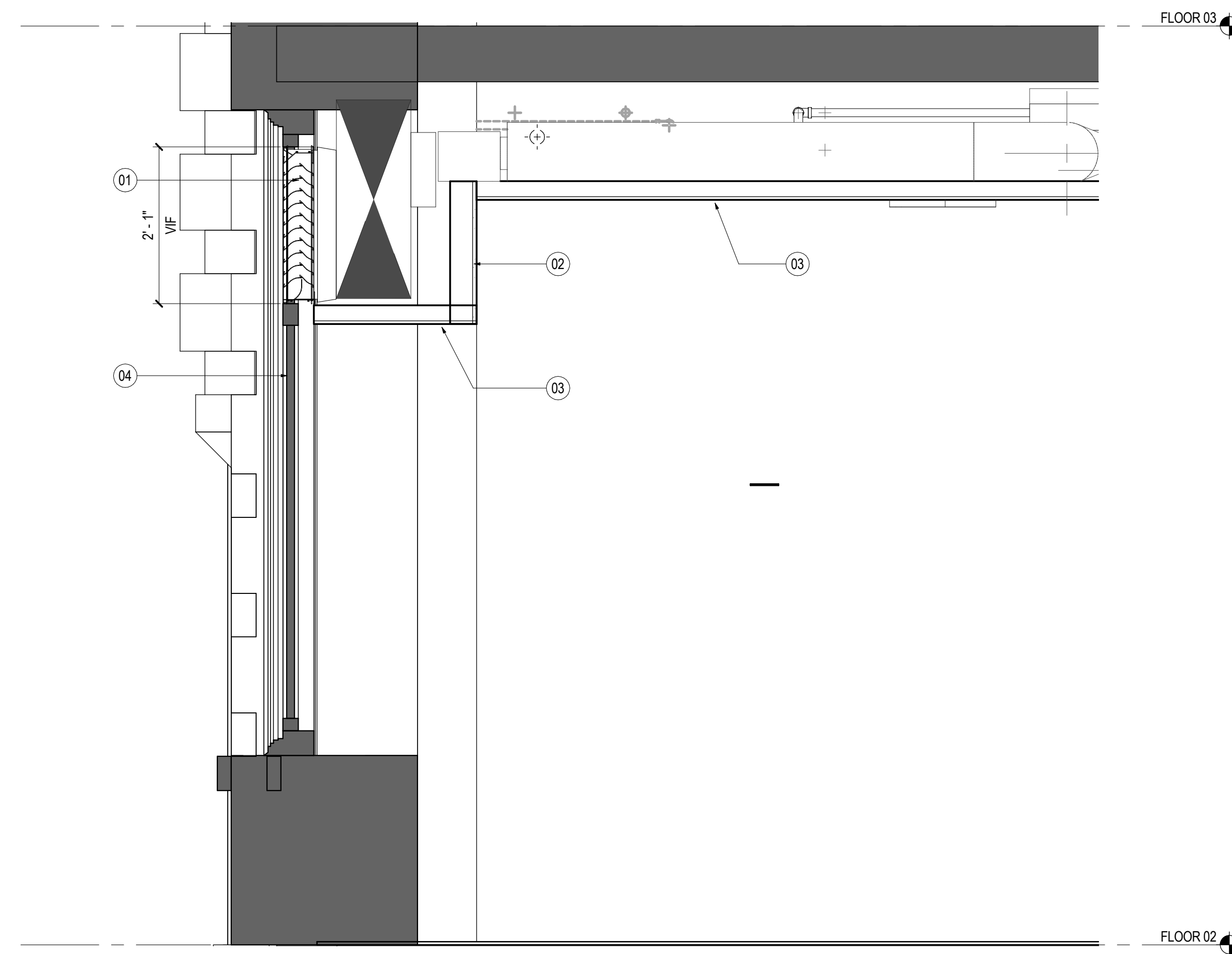
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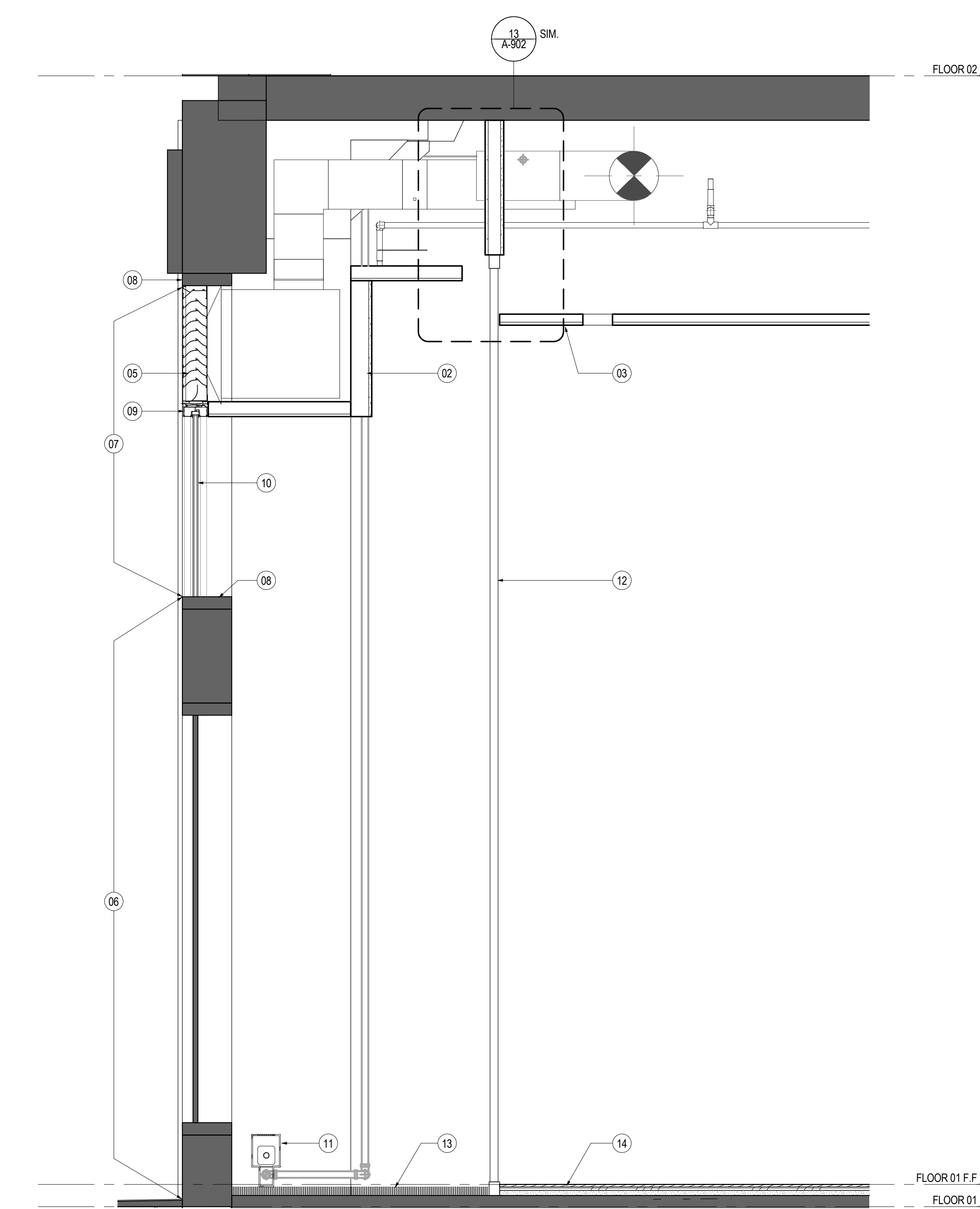
**SHEET NOTES**

- 01 NEW INTAKE LOUVER IN PLACE OF EXISTING GLASS. REFER TO BUILDING ELEVATION ON A-700 AND ENGINEER'S DWGS. ALL VISIBLE PARTS OF LOUVER TO BE FINISHED TO MATCH EXISTING ADJACENT WINDOW FRAME.
- 02 GWS SOFFIT.
- 03 REFER TO RCP.
- 04 EXISTING WINDOW AND FRAME TO REMAIN.
- 05 NEW RETURN LOUVER. REFER TO BUILDING ELEVATION ON A-700 AND ENGINEER'S DWGS FOR REQUIRED FREE AREA. ALL VISIBLE PARTS OF LOUVER TO BE FINISHED TO MATCH EXISTING ADJACENT STOREFRONT.
- 06 EXISTING STOREFRONT TO REMAIN.
- 07 REMOVE EXISTING GLASS. PROVIDE NEW GLASS & TRANSOM FRAME BELOW LOUVER TO MATCH EXISTING ADJACENT PROFILE AND FINISH.
- 08 EXISTING STOREFRONT FRAME.
- 09 NEW STOREFRONT HORIZONTAL FRAME. REFER TO SPEC SECTION 08 41 13.
- 10 NEW STOREFRONT GLASS. REFER TO SPEC SECTION 08 41 13.
- 11 PERIMETER FIN TUBE RADIATOR. REFER TO ENGINEER'S DWGS.
- 12 PERIMETER POLYCARBONATE WALL SYSTEM. REFER TO SCRIM WALL BID PACKAGE.
- 13 PERIMETER STAINLESS STEEL FLOOR GRILLE. REFER TO SPEC SECTION 12 48 16.
- 14 SCHEDULED FLOOR FINISH. REFER TO FINISH PLAN.

Date	Description
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12/21/2018	ISSUE FOR BID - PHASE 2



**01 WALL SECTION - LOUVER ON 2ND FL**  
SCALE: 3/4" = 1'-0"



**02 WALL SECTION - LOUVER ON 1ST FL**  
SCALE: 3/4" = 1'-0"

**NOT FOR CONSTRUCTION**

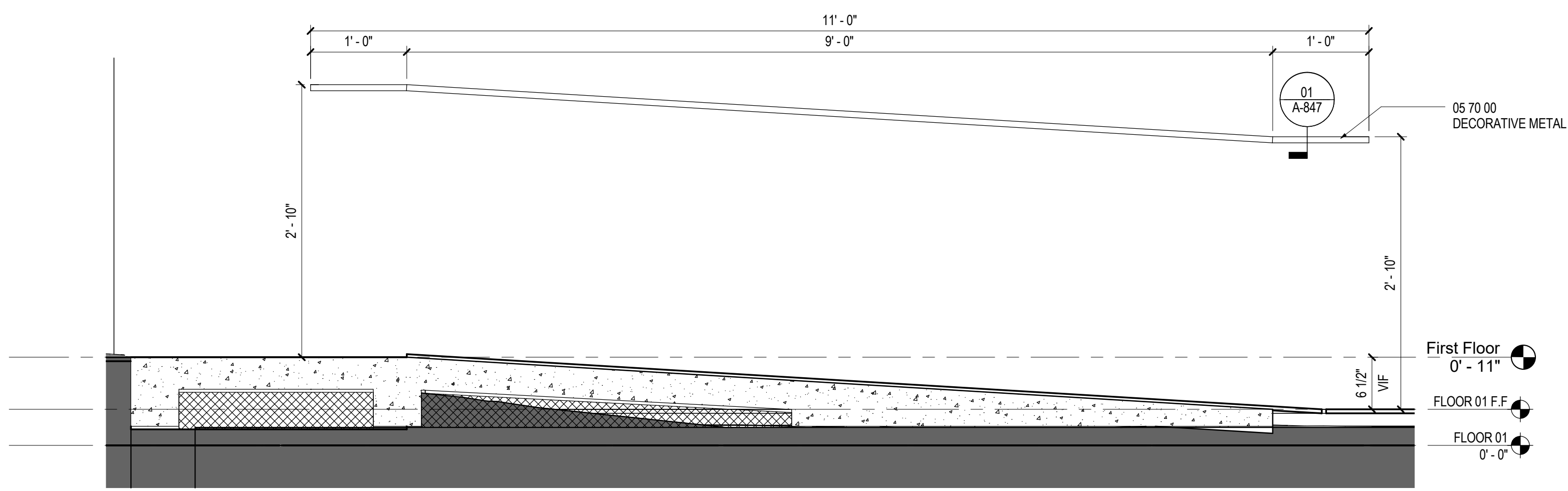
Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

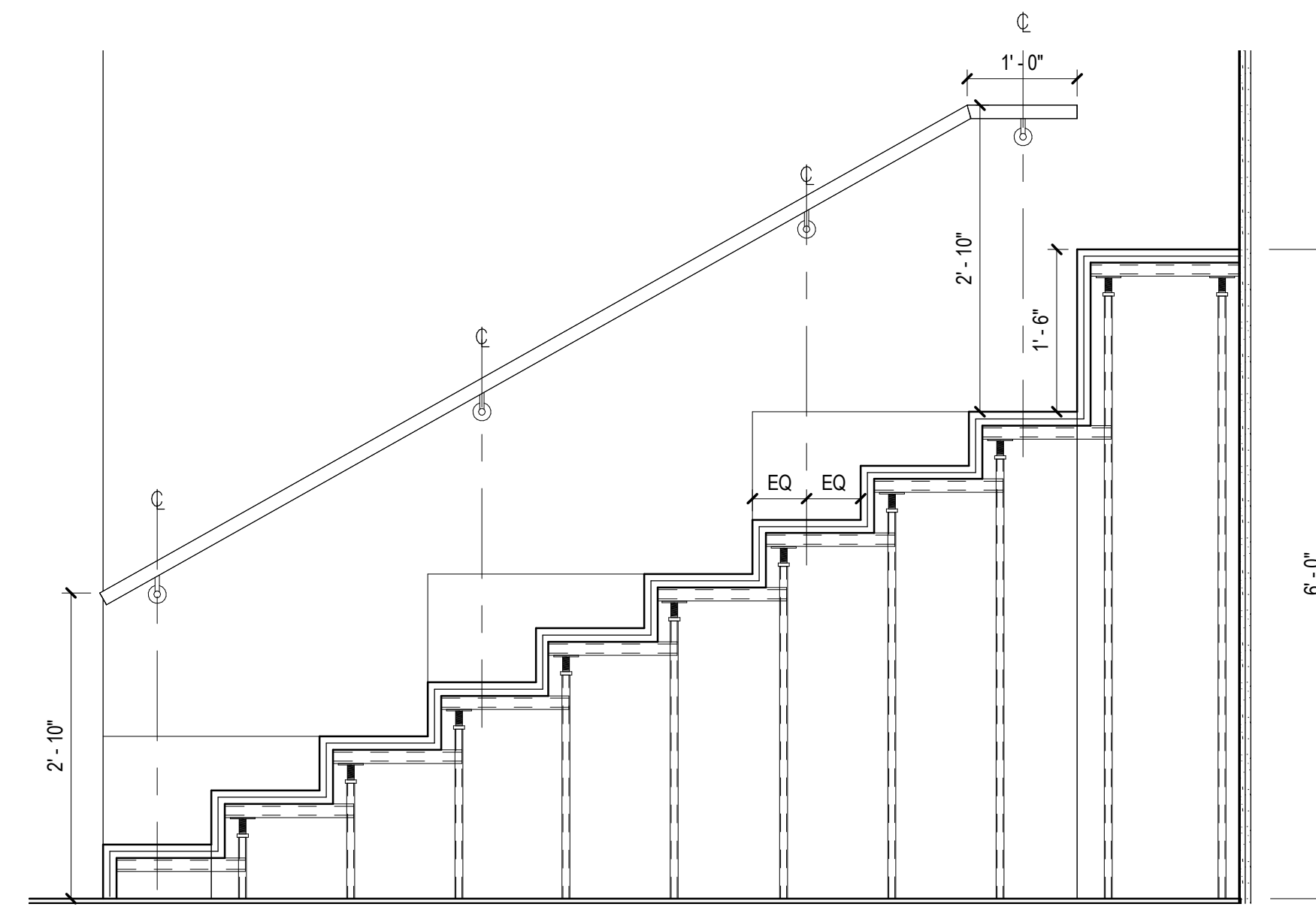
Description  
**STOREFRONT AND LOUVER SECTIONS**

Scale  
**3/4" = 1'-0"**

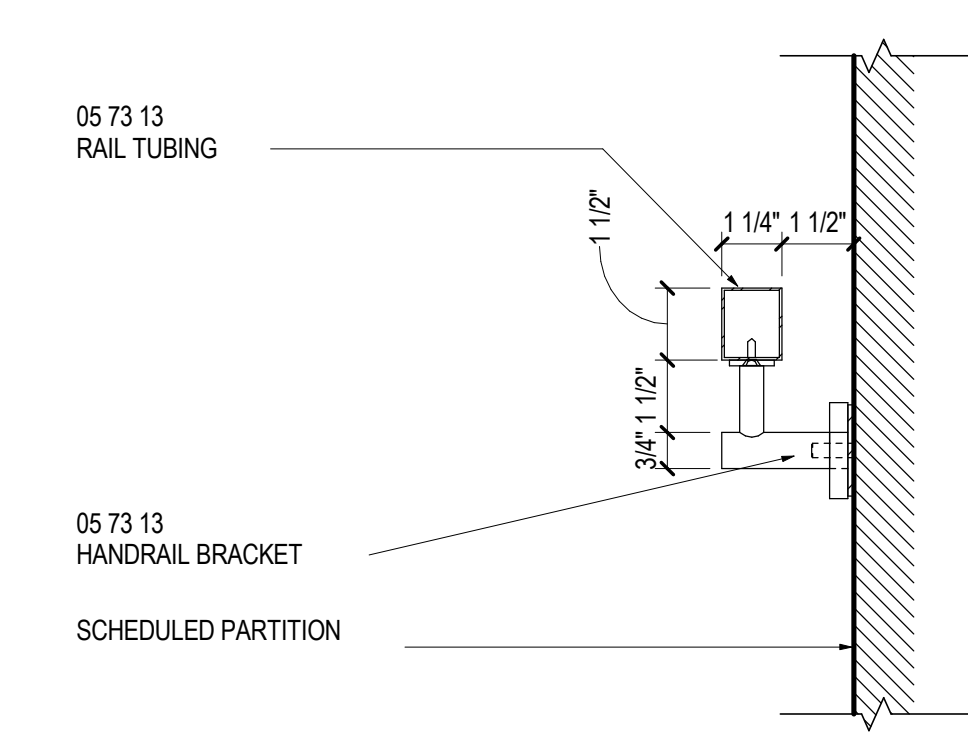
**A-846**



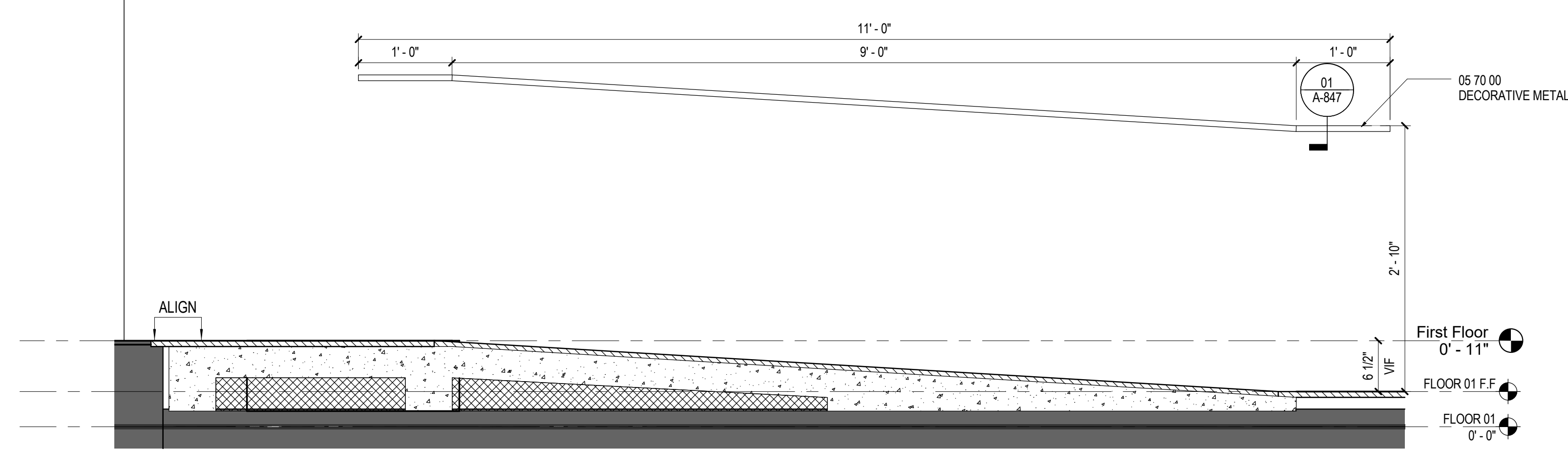
**13 FORUM RAMP SECTION**  
SCALE: 1" = 1'-0"



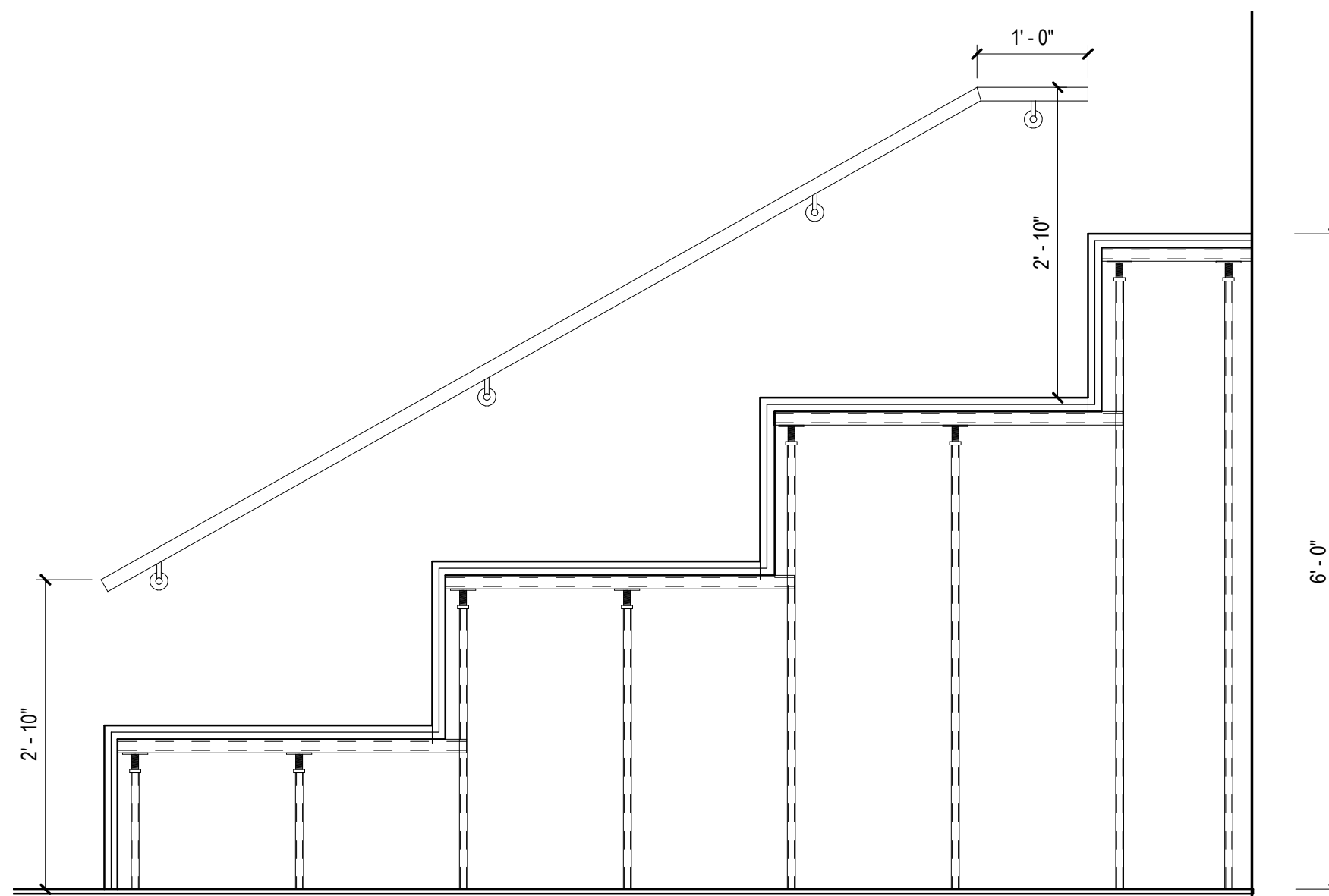
**05 FIXED BLEACHER STEPS SECTION**  
SCALE: 3/4" = 1'-0"



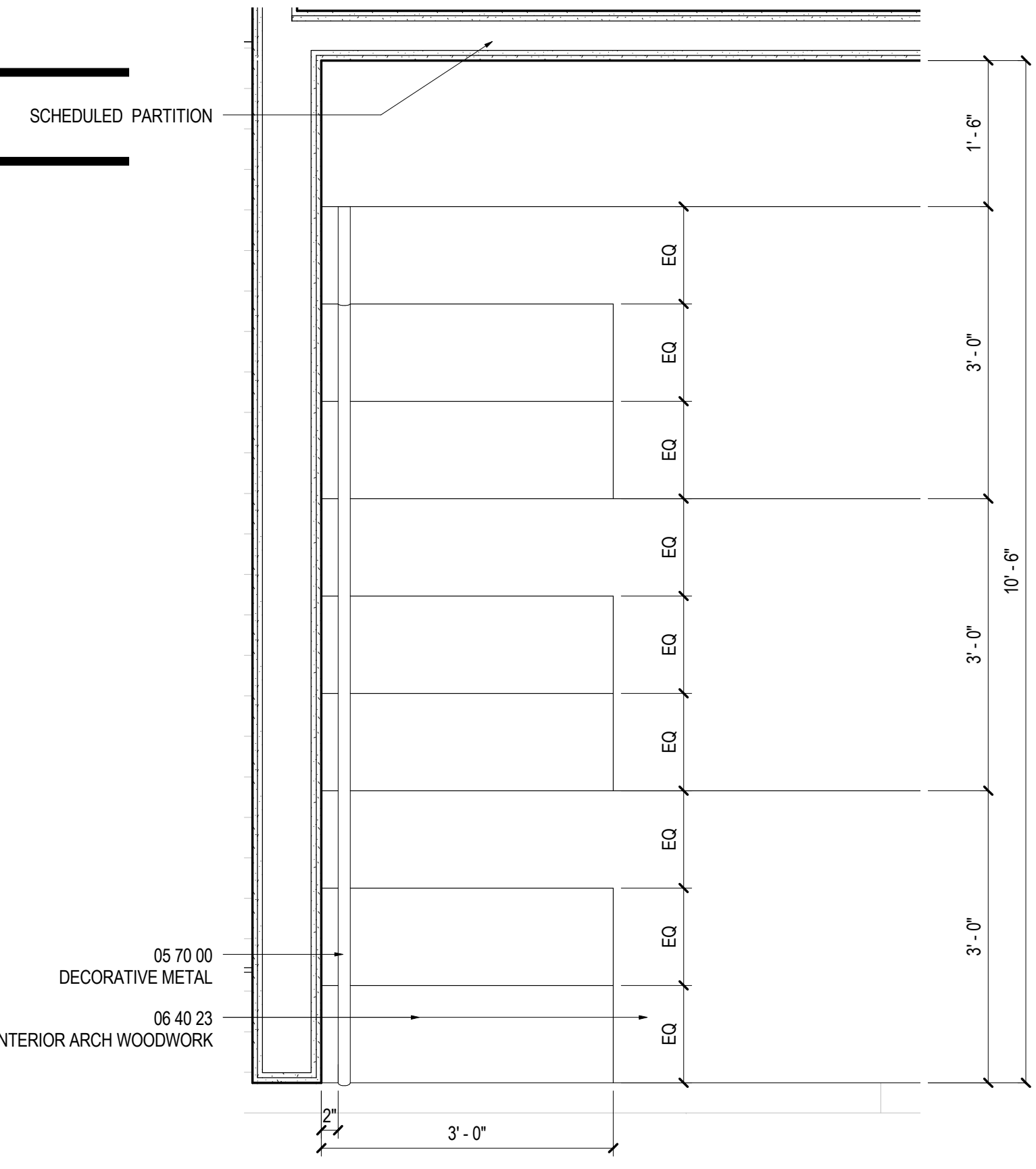
**01 TYP. HANDRAIL SECTION**  
SCALE: 3" = 1'-0"



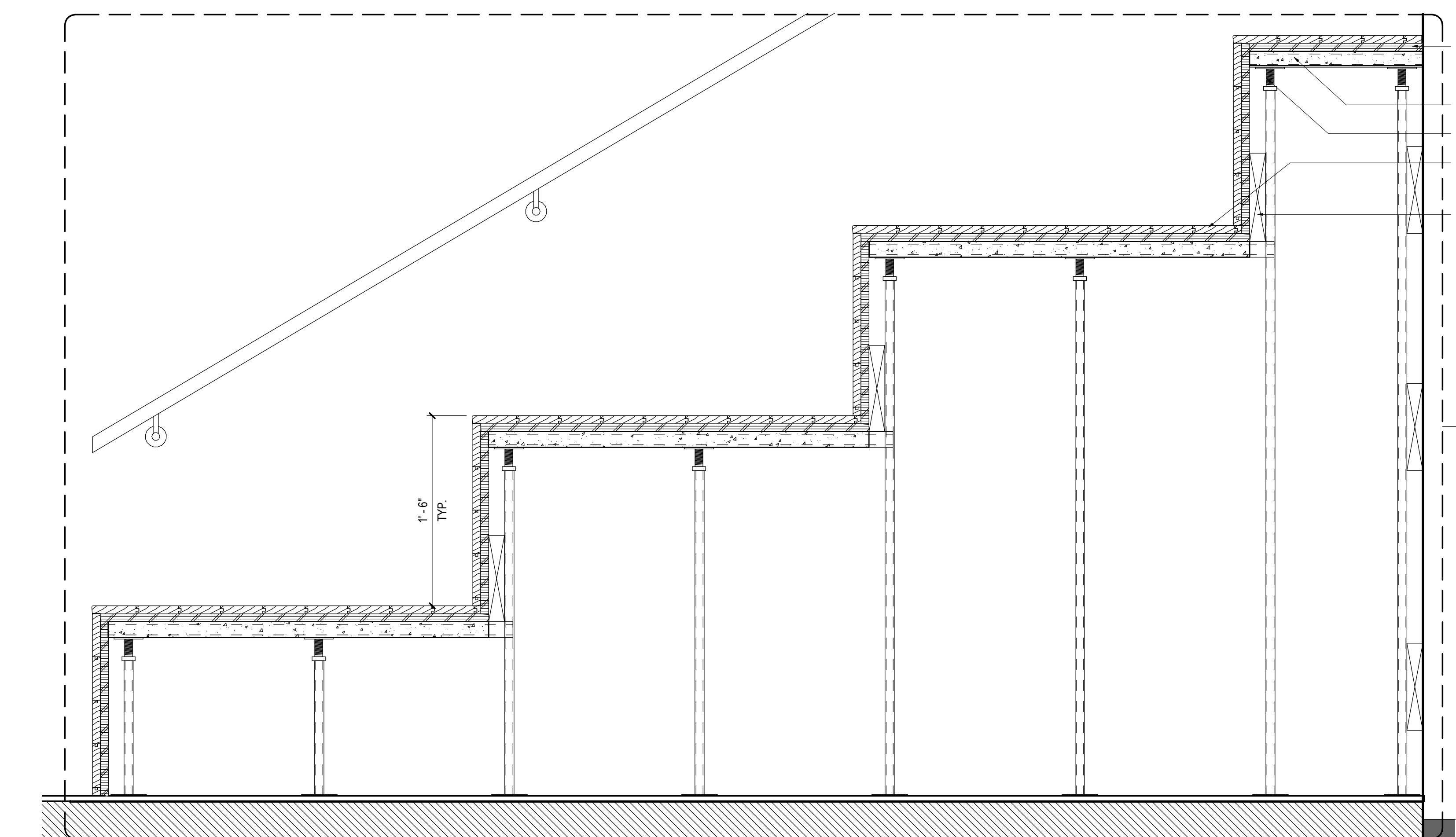
**14 EXHIBITION RAMP SECTION**  
SCALE: 1" = 1'-0"



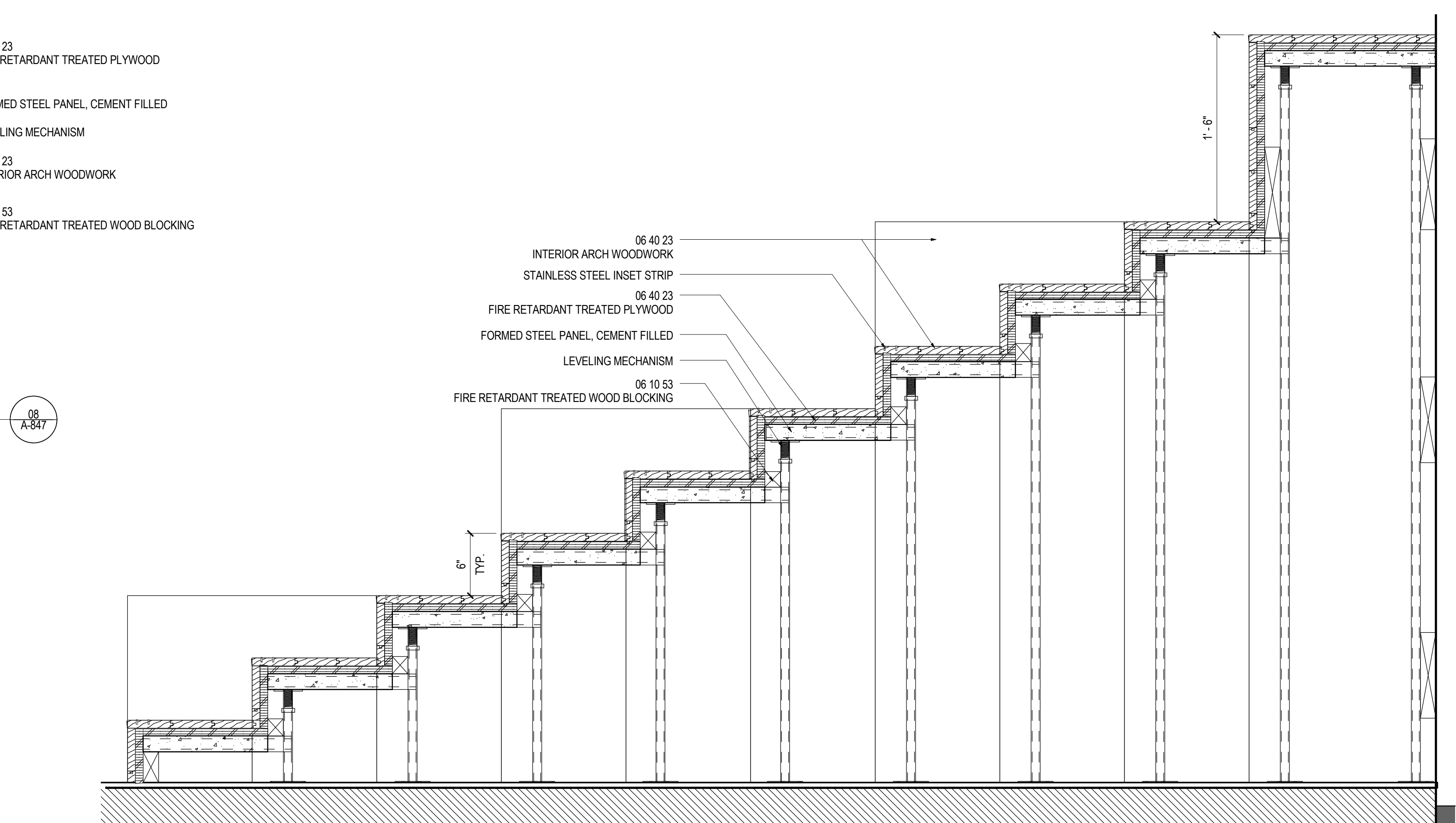
**06 FIXED BLEACHERS**  
SCALE: 3/4" = 1'-0"



**02 ENLARGED BLEACHER PLAN**  
SCALE: 3/4" = 1'-0"



**16 FIXED BLEACHER SECTION**  
SCALE: 1 1/2" = 1'-0"



**08 FIXED BLEACHER STEP SECTION**  
SCALE: 1 1/2" = 1'-0"

Date	Description
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR  
CONSTRUCTION**

Project Name	Jackie Robinson Foundation
Project Number	06.6256.015
Description	ENLARGED PLAN & SECTIONS - FORUM & RAMP
Scale	As indicated

**A-847**

**GENERAL NOTES**

- A. REFER TO FINISH PLAN FOR ALTERNATE FINISHES.

**SHEET NOTES**

- 01 PERIMETER POLYCARBONATE WALL SYSTEM WITH INTEGRATED ACCESS DOOR AND SUPPORT FRAMING - EXTECH SERIES 3440 OR EQUAL. REFER TO SCRIM WALL BID PACKAGE
- 02 REFER TO DOOR SCHEDULE
- 03 GLASS TRANSOM SUPPORT WITH STAINLESS STEEL CAP. REFER TO STRUCTURAL DWGS.
- 04 SCRIM WALL ACCESS DOOR - INTEGRAL TO WALL SYSTEM
- 05 OPENING FOR EXHIBIT DISPLAY CASE. COORDINATE WITH EXHIBIT INSTALLER
- 06 NICHE FOR EXHIBIT DISPLAY CASE. COORDINATE WITH EXHIBIT INSTALLER
- 07 EXTENT OF ALTERNATE WALL FINISH. REFER TO FINISH PLAN.

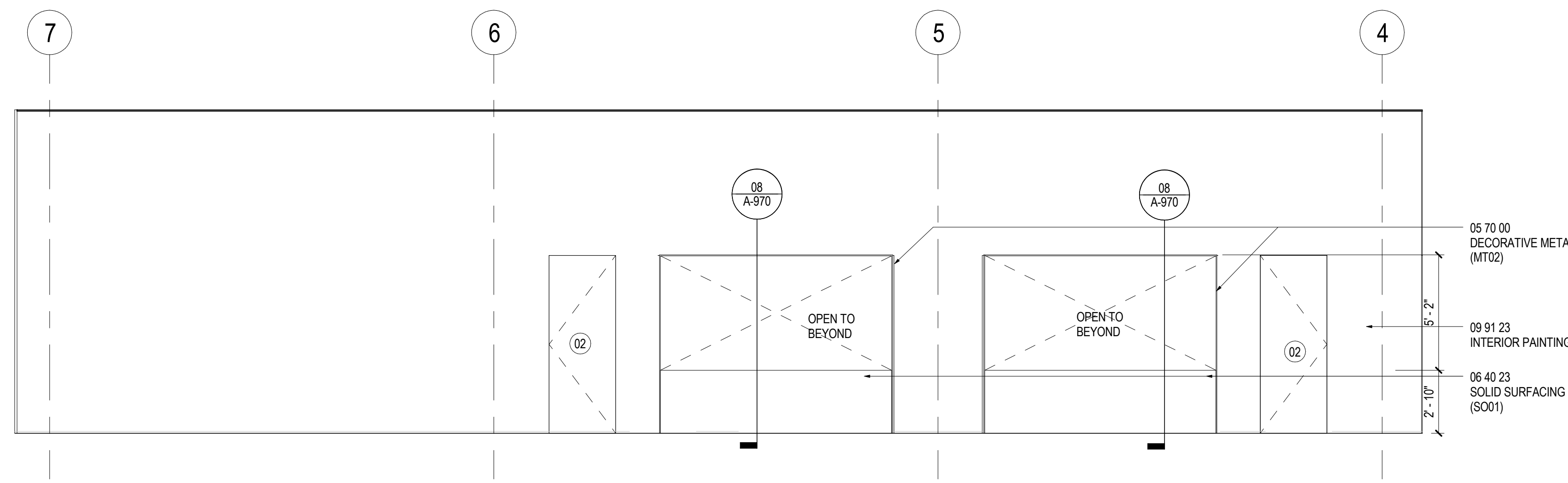
Date	Description
05/07/2018	SD FOR PRICING
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR CONSTRUCTION**

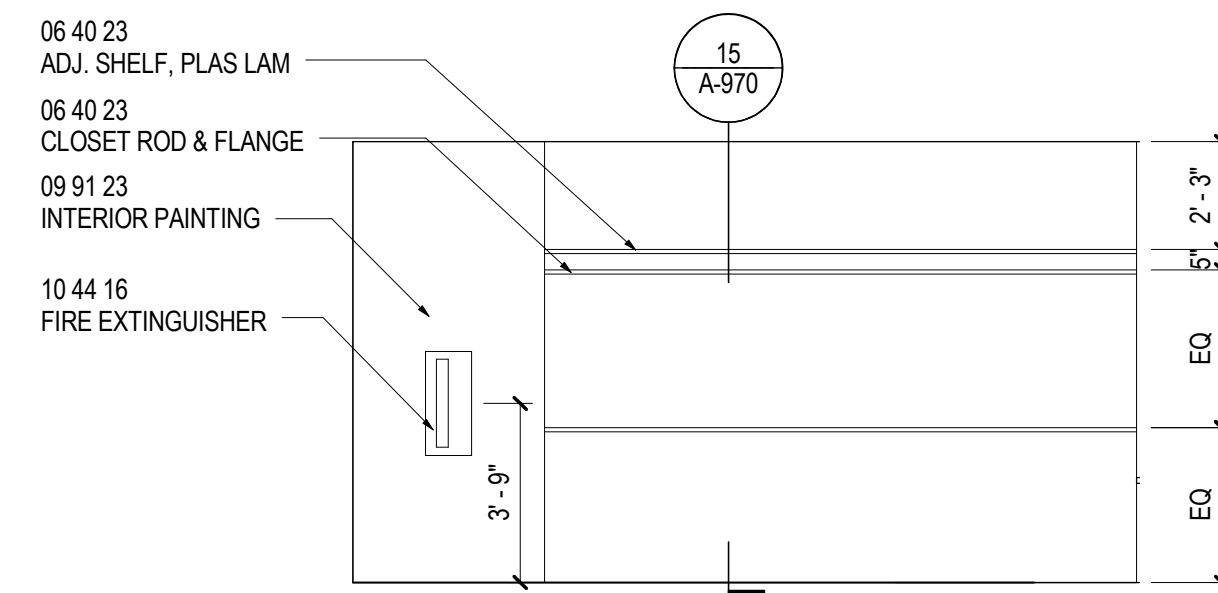
Project Name	Jackie Robinson Foundation
Project Number	06.6256.015
Description	INTERIOR ELEVATIONS - FLOOR 1

Scale  
1/4" = 1'-0"

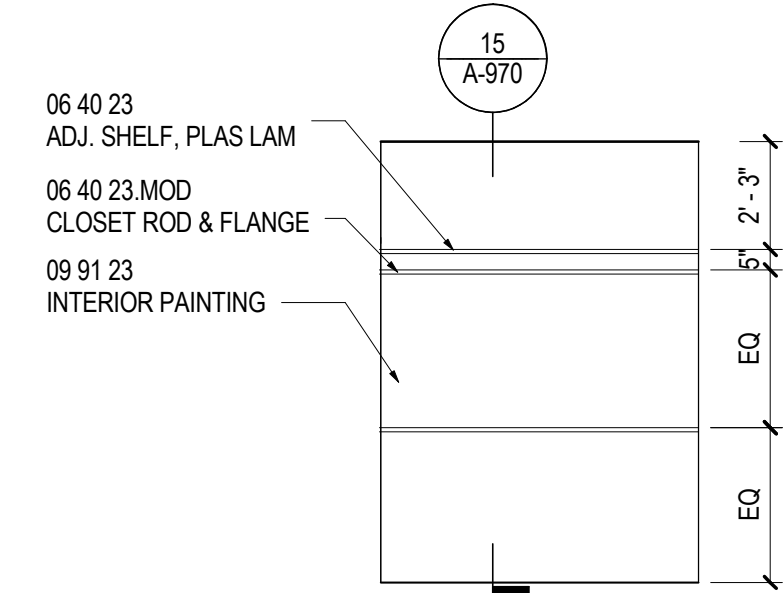
**A-861**



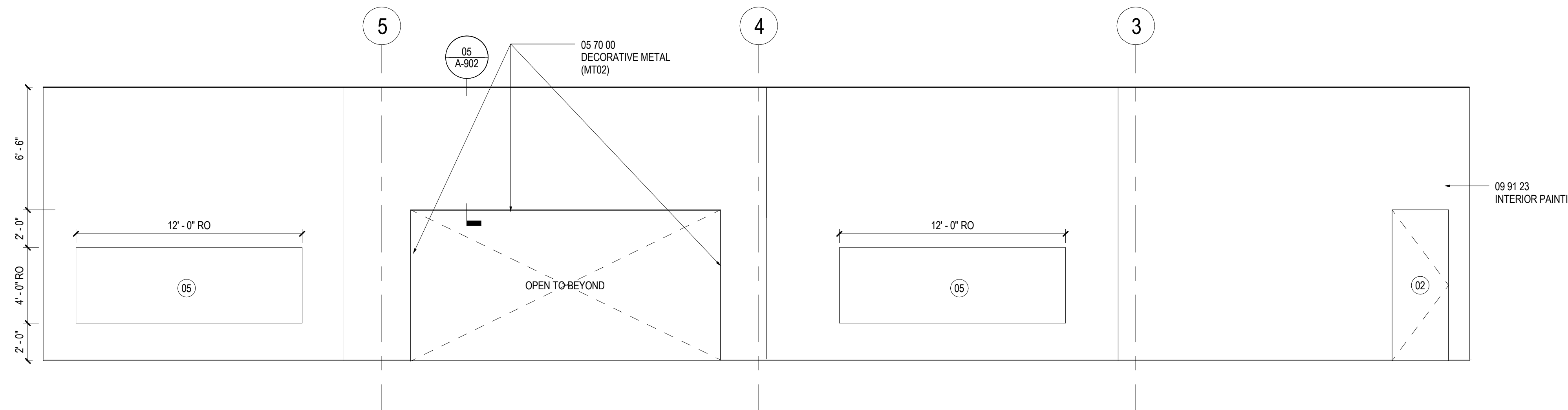
**1A TICKETING ELEVATION**  
SCALE: 1/4" = 1'-0"



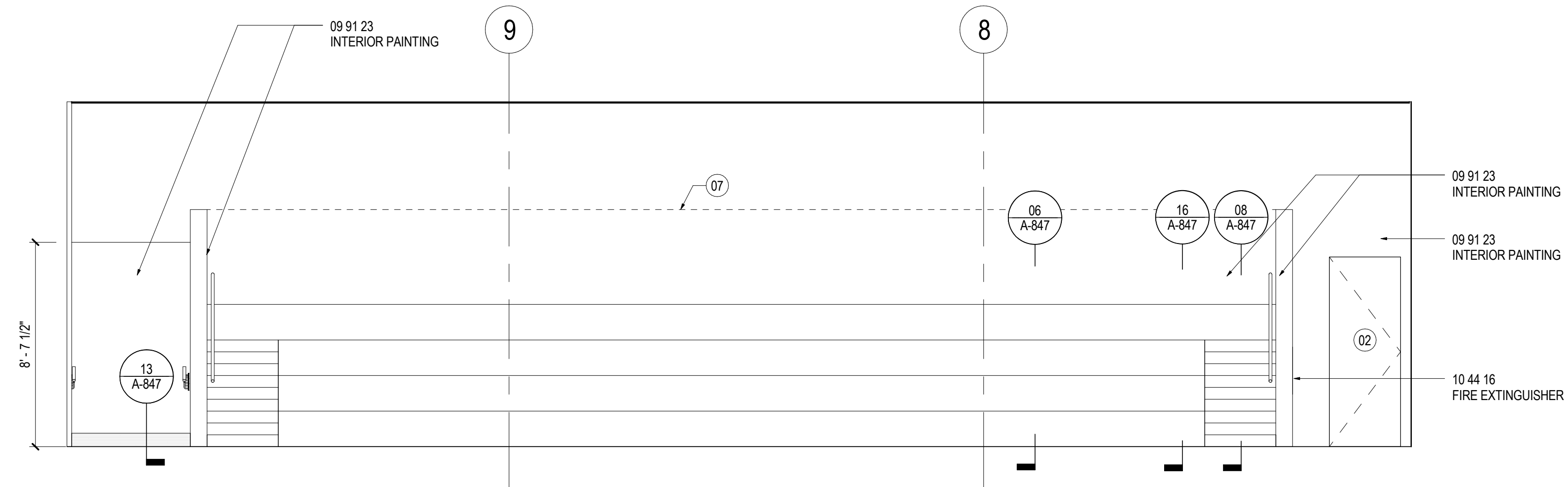
**1B COAT ROOM MILLWORK SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



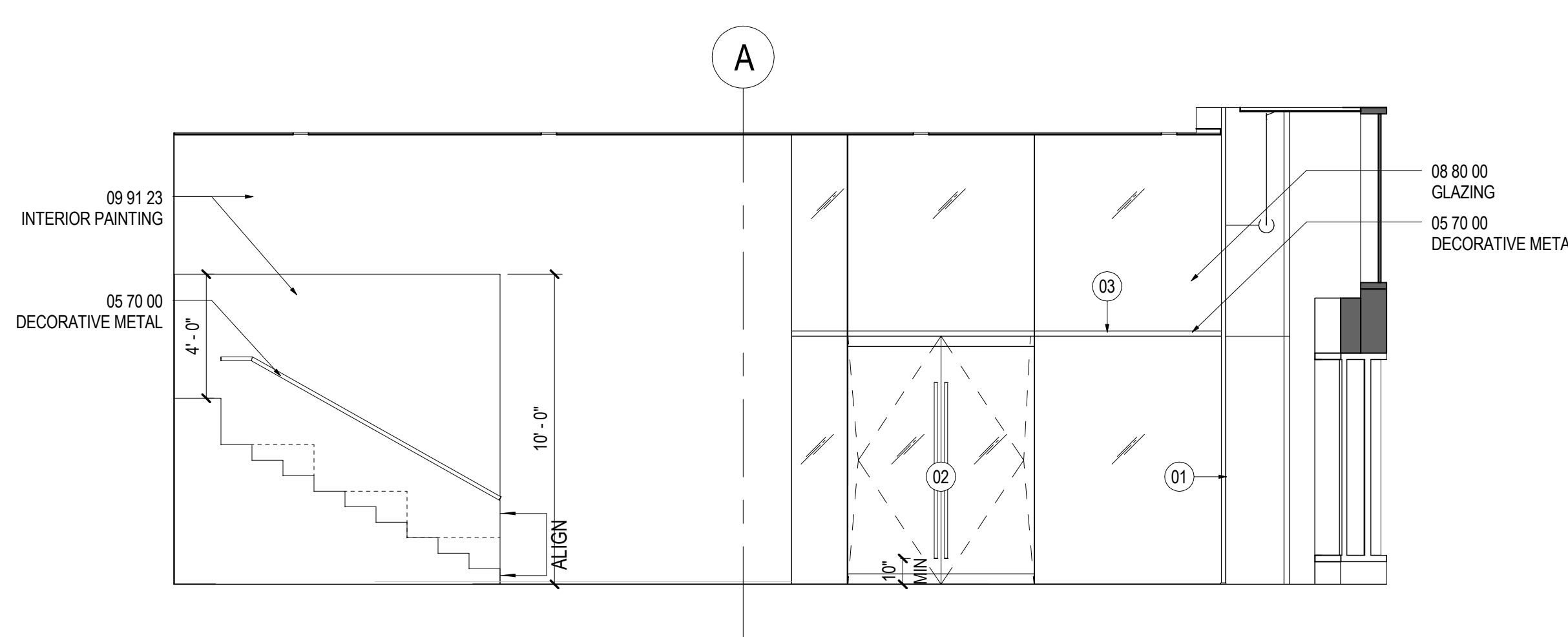
**1C COAT ROOM MILLWORK WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



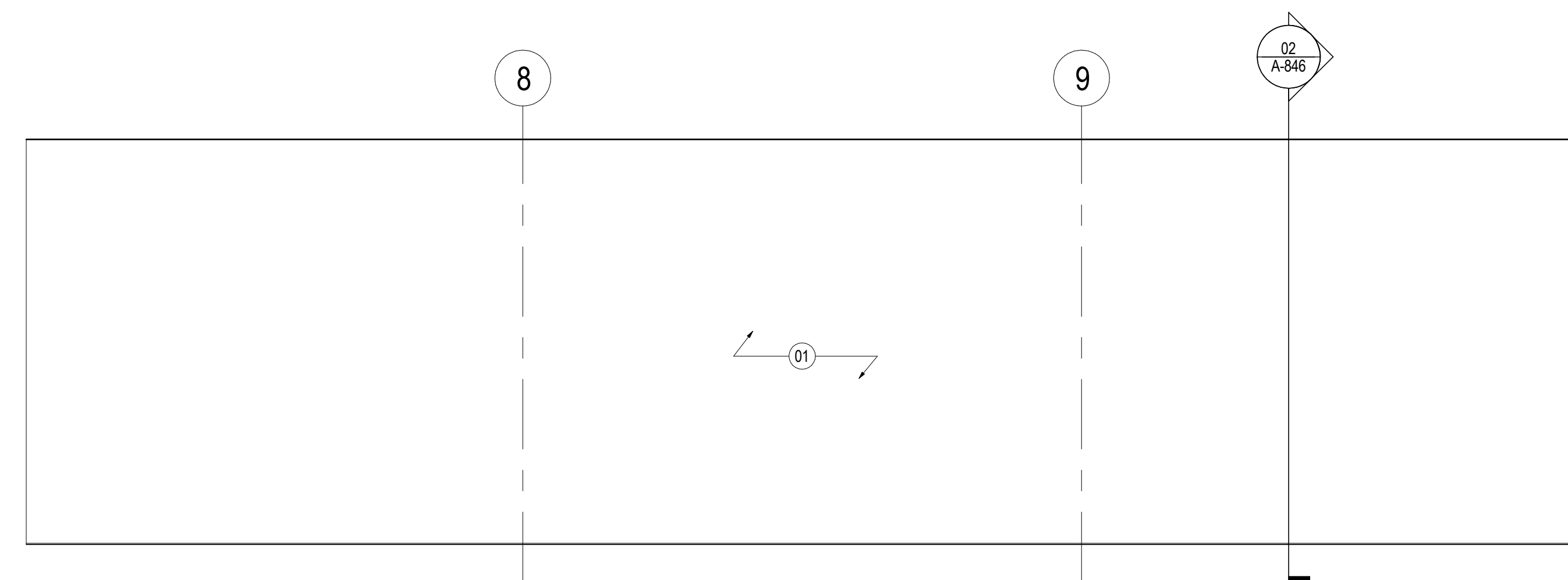
**2A EXHIBITION INTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



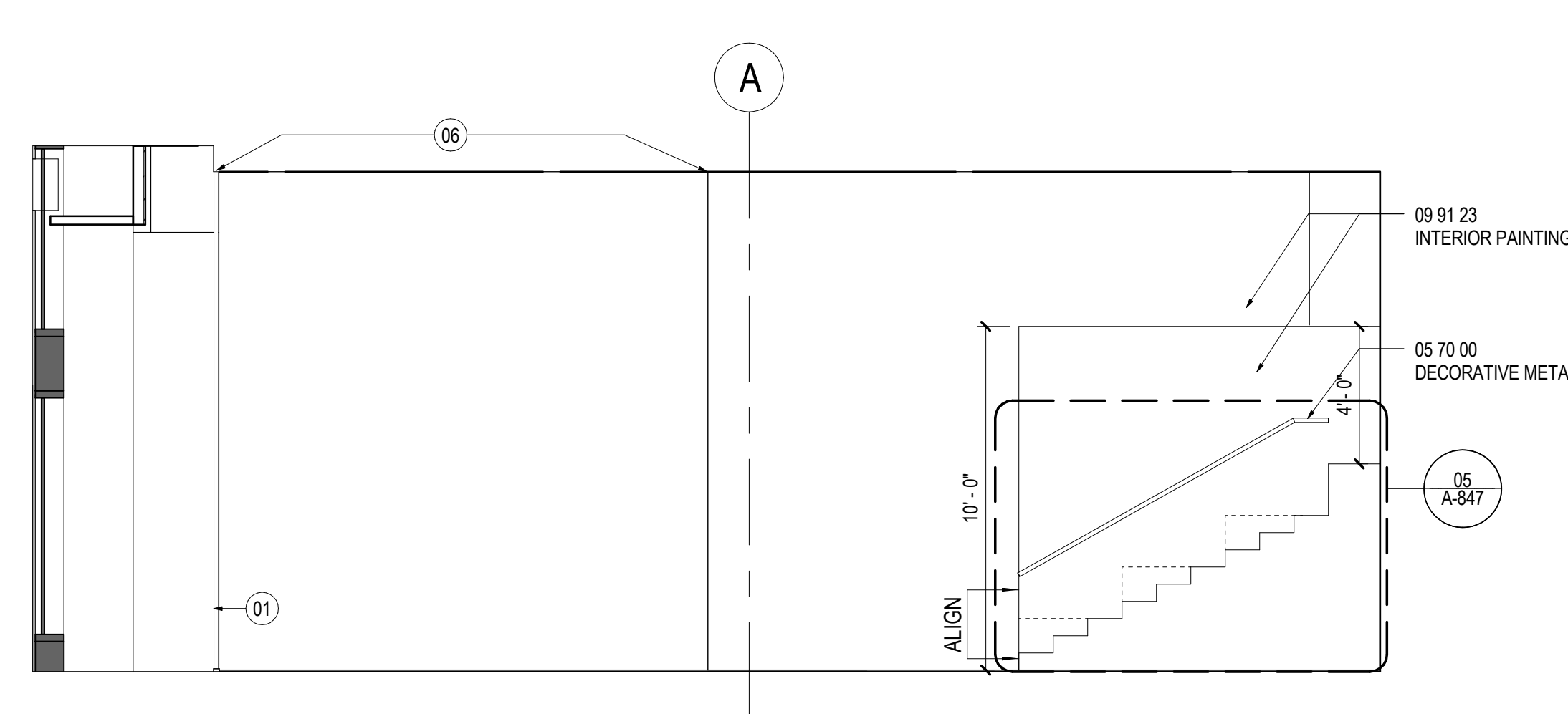
**3A FORUM / GALLERY - NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3B FORUM / GALLERY - EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**4A FORUM / GALLERY - SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4B FORUM / GALLERY - WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**GENERAL NOTES**

A. REFER TO FINISH PLANS FOR ALTERNATE FINISHES.

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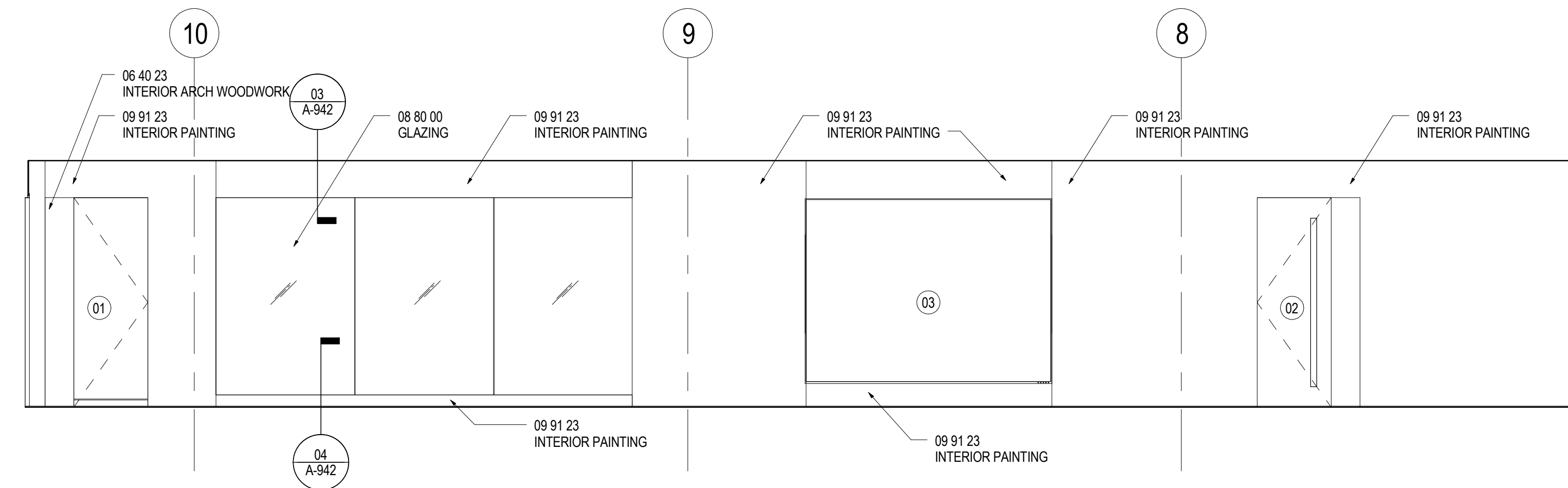
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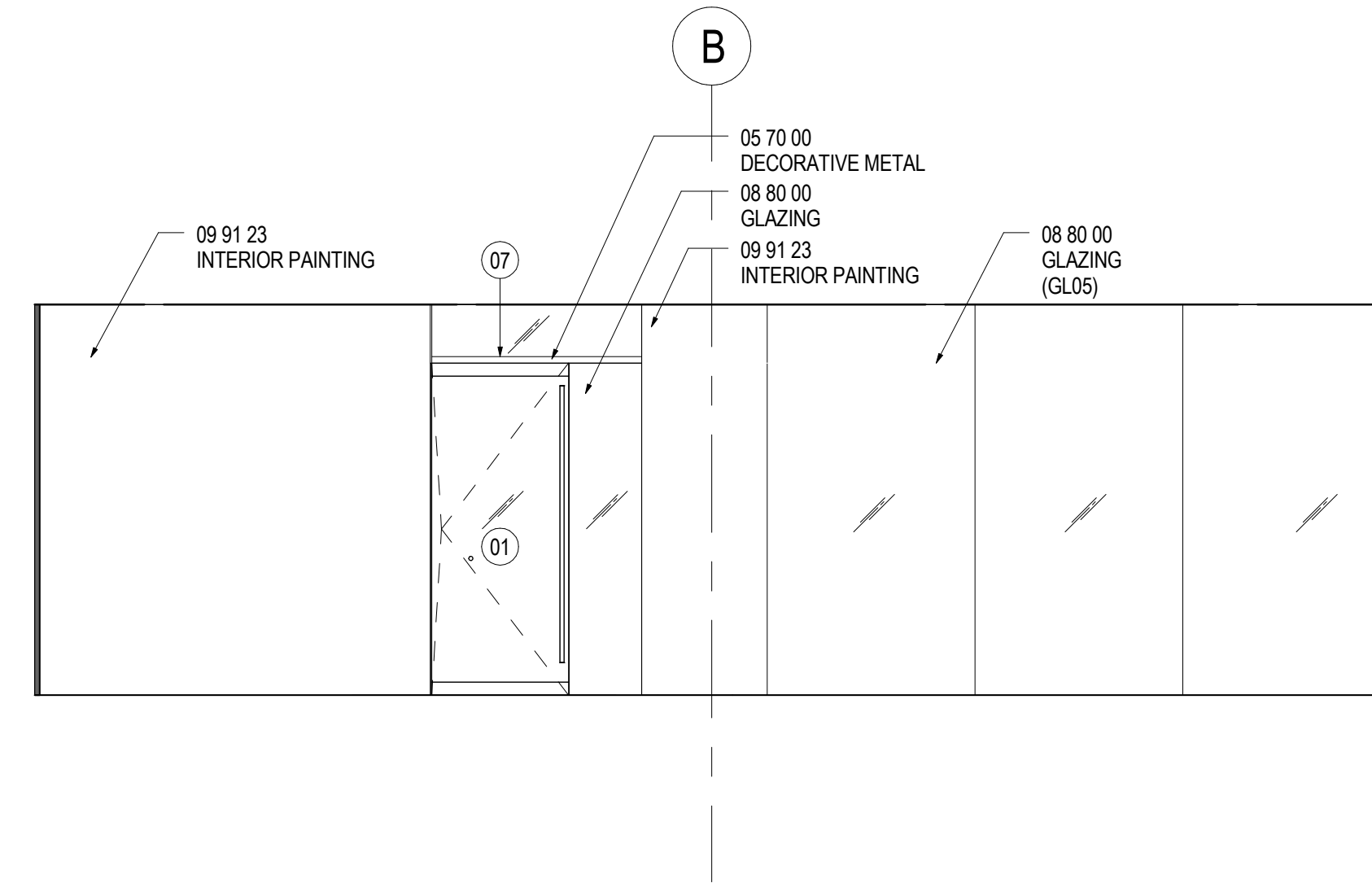
**SHEET NOTES**

- 01 REFER TO DOOR SCHEDULE.
- 02 EXISTING DOOR TO REMAIN AND BE PAINTED.
- 03 AV DISPLAY - REFER TO AV DRAWINGS.
- 05 DOUBLE GLAZED DEMOUNTABLE WALL SYSTEM. REFER TO SPEC SECTION 10 22 19.
- 06 EXHIBIT DISPLAY CASE GLASS DOORS.
- 07 GLASS TRANSOM SUPPORT WITH METAL CAP. REFER TO SPEC SECTION 08 41 26.

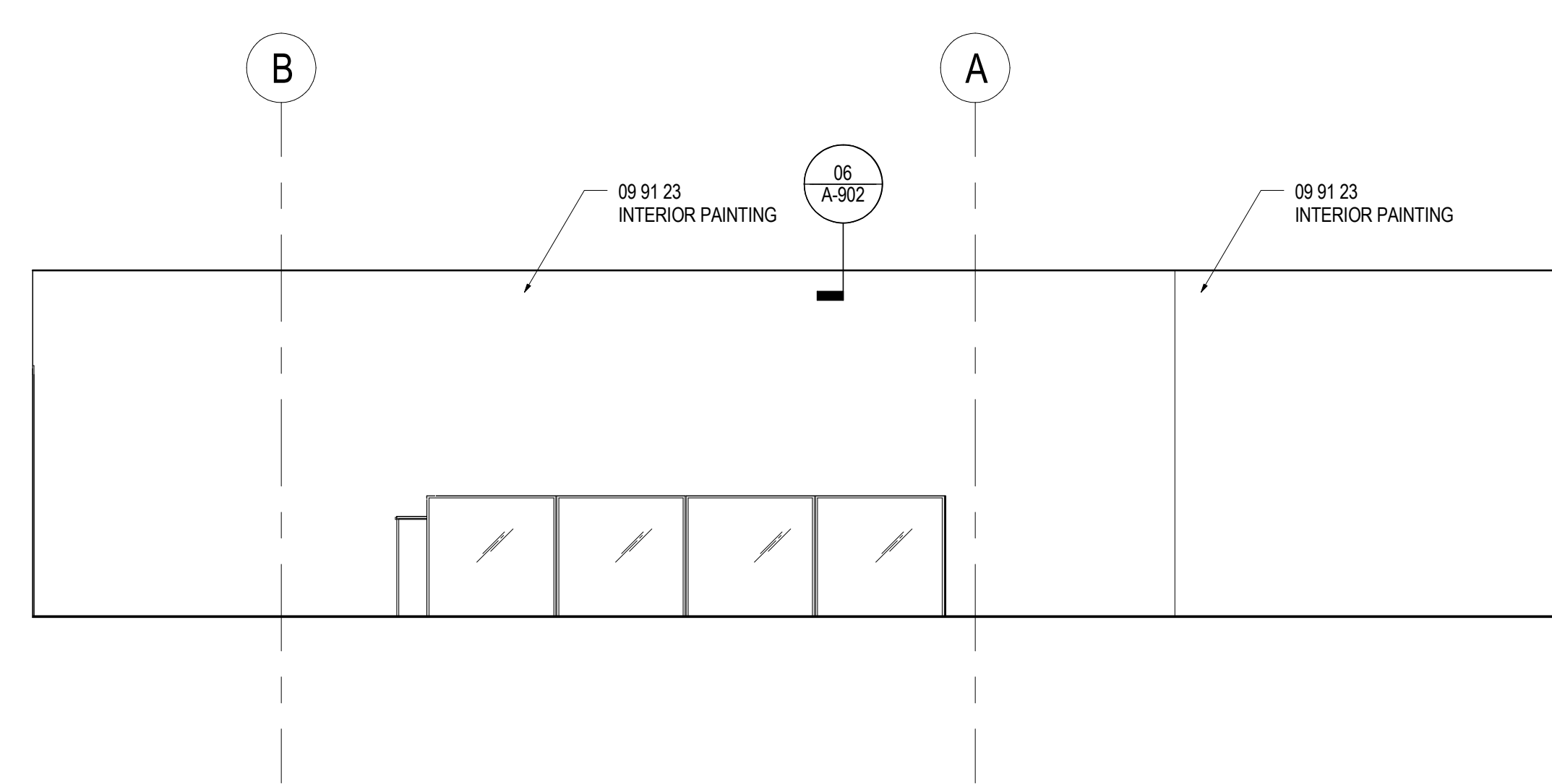
Date	Description
05/07/2018	SD FOR PRICING
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2



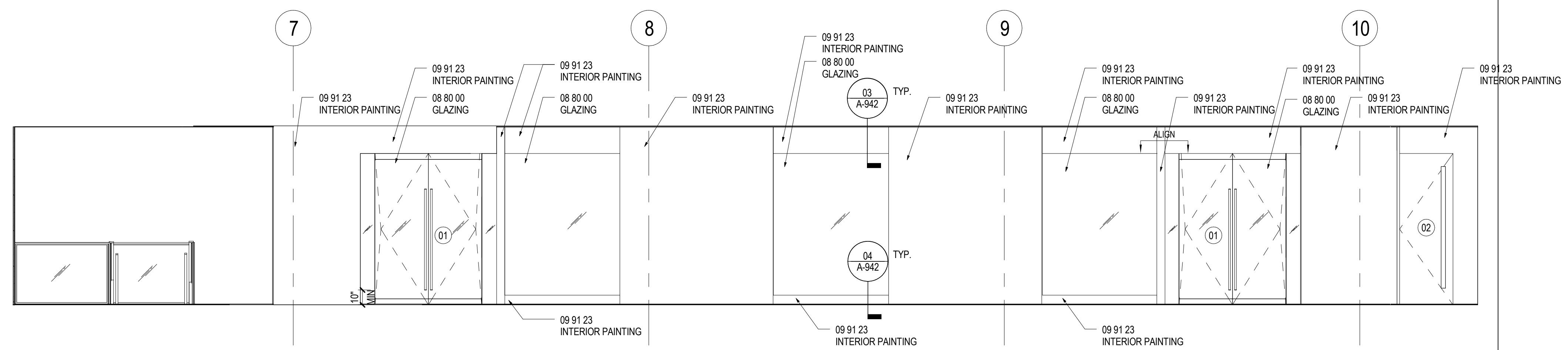
**1A 2ND FLOOR NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



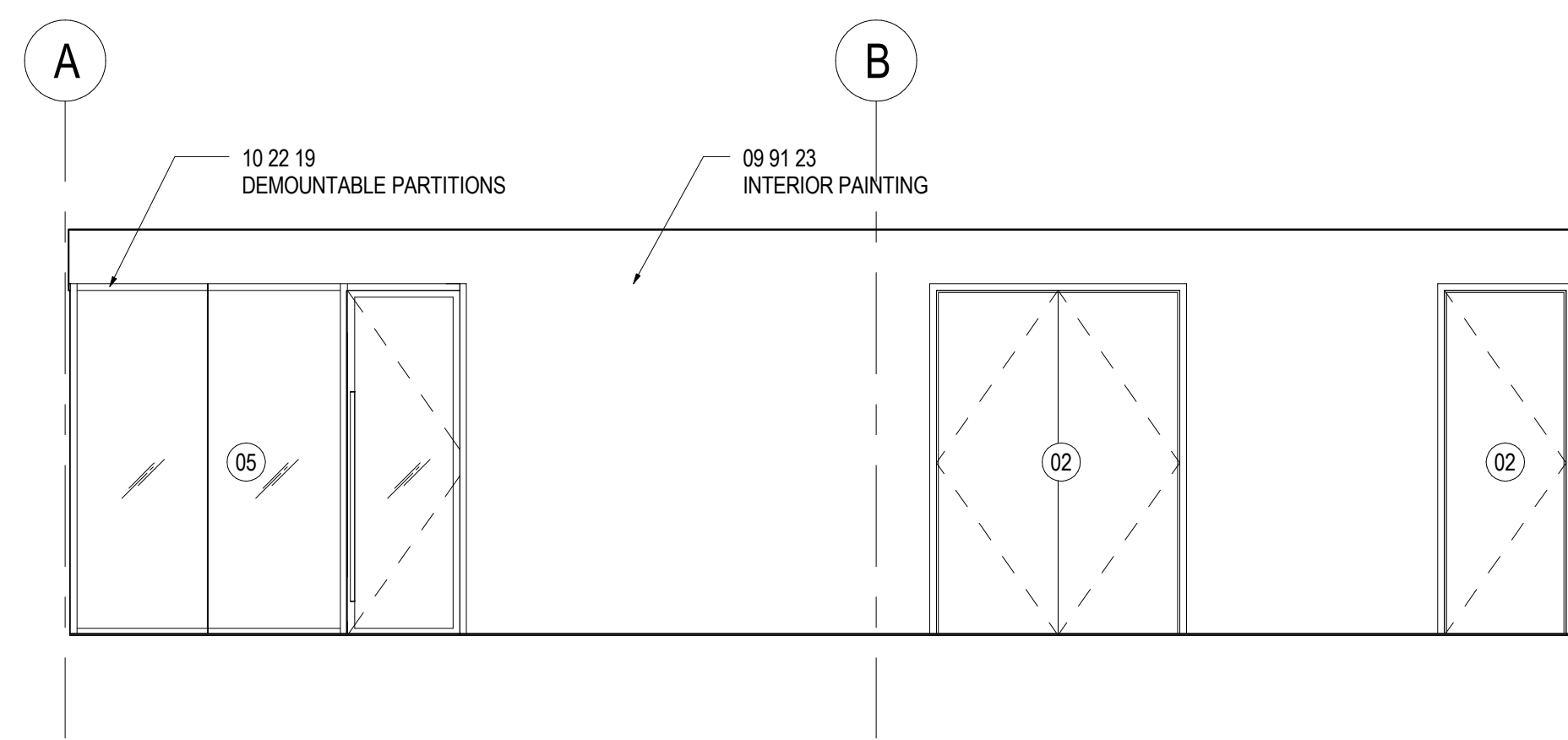
**2B 2ND FLOOR EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



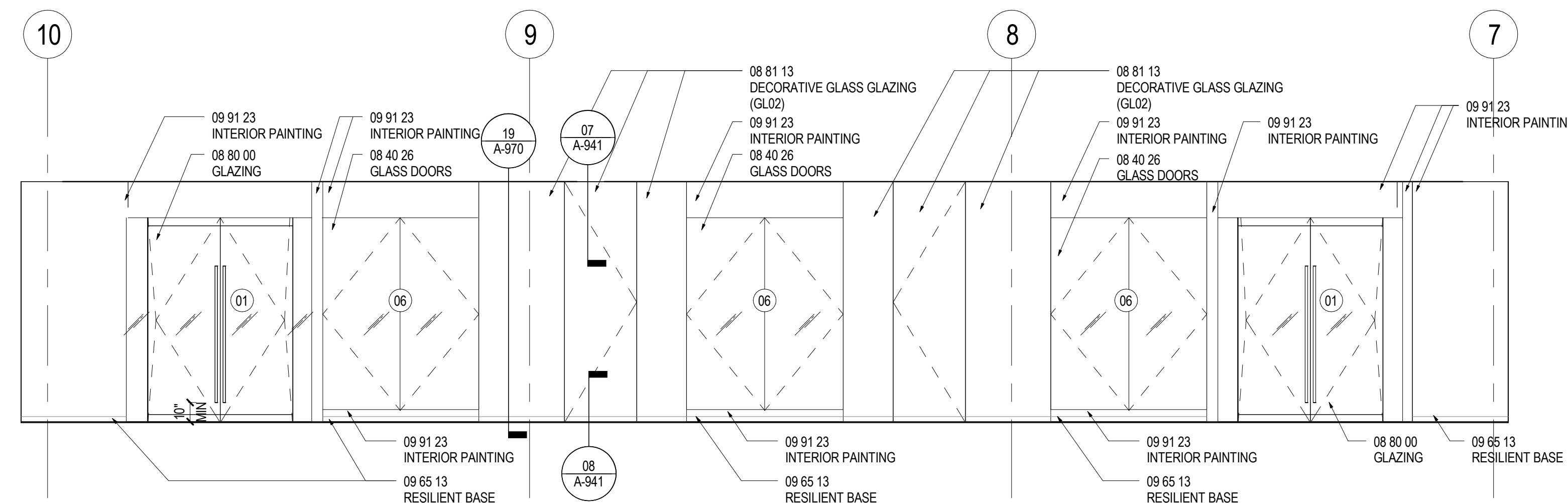
**2A 2ND FLOOR EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3A 2ND FLOOR SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4B 2ND FLOOR WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**7 2ND FLOOR MEETING ROOM NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**NOT FOR CONSTRUCTION**

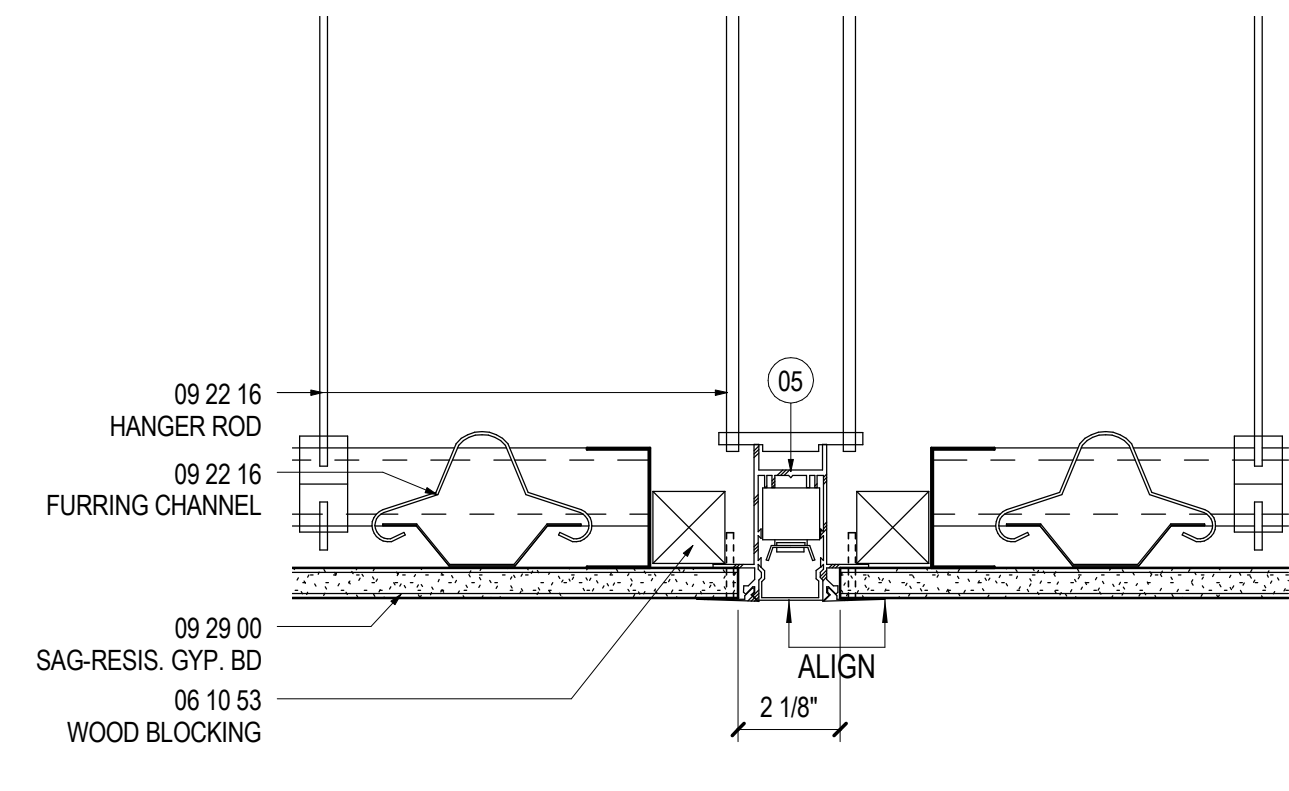
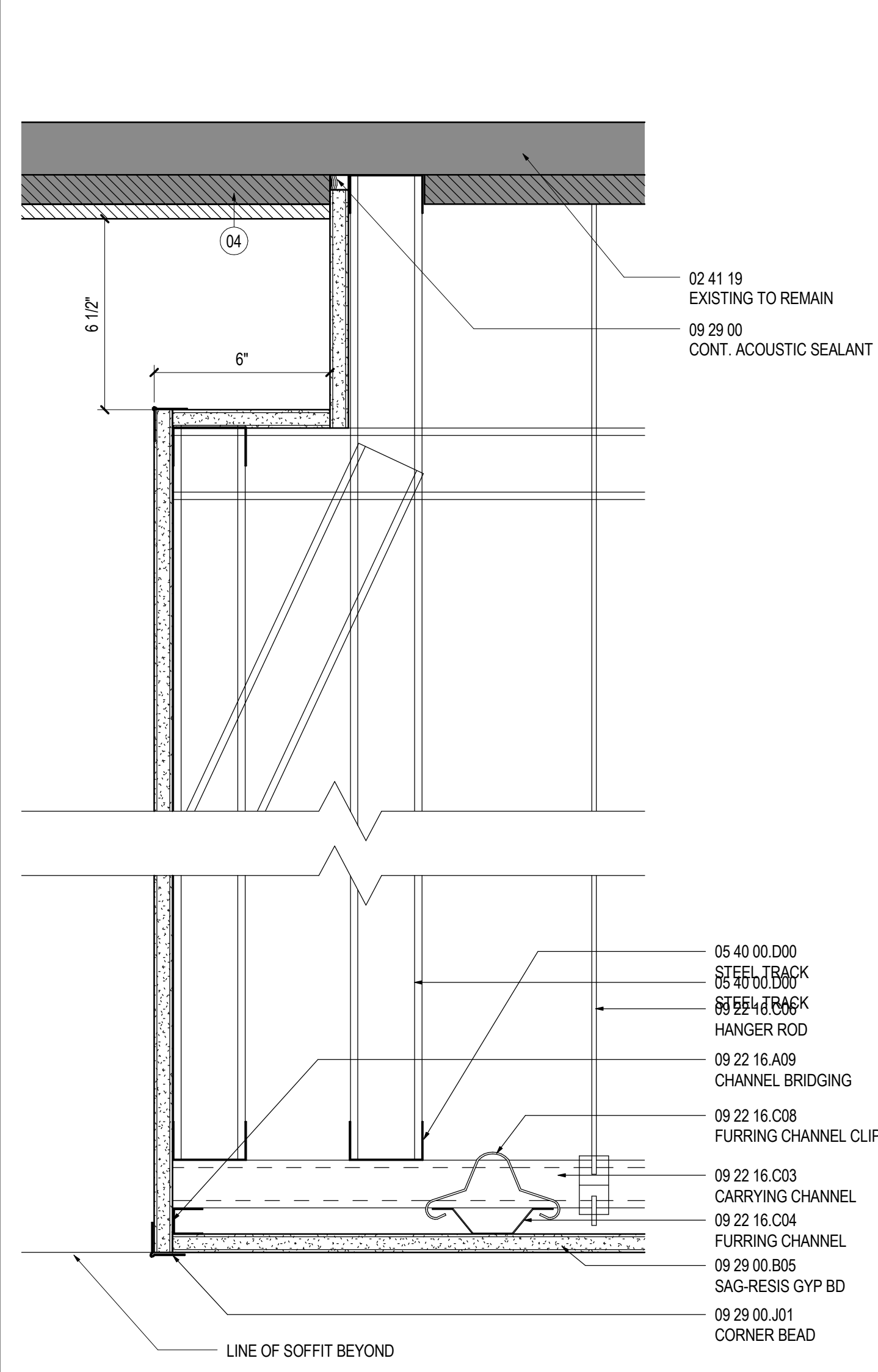
Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

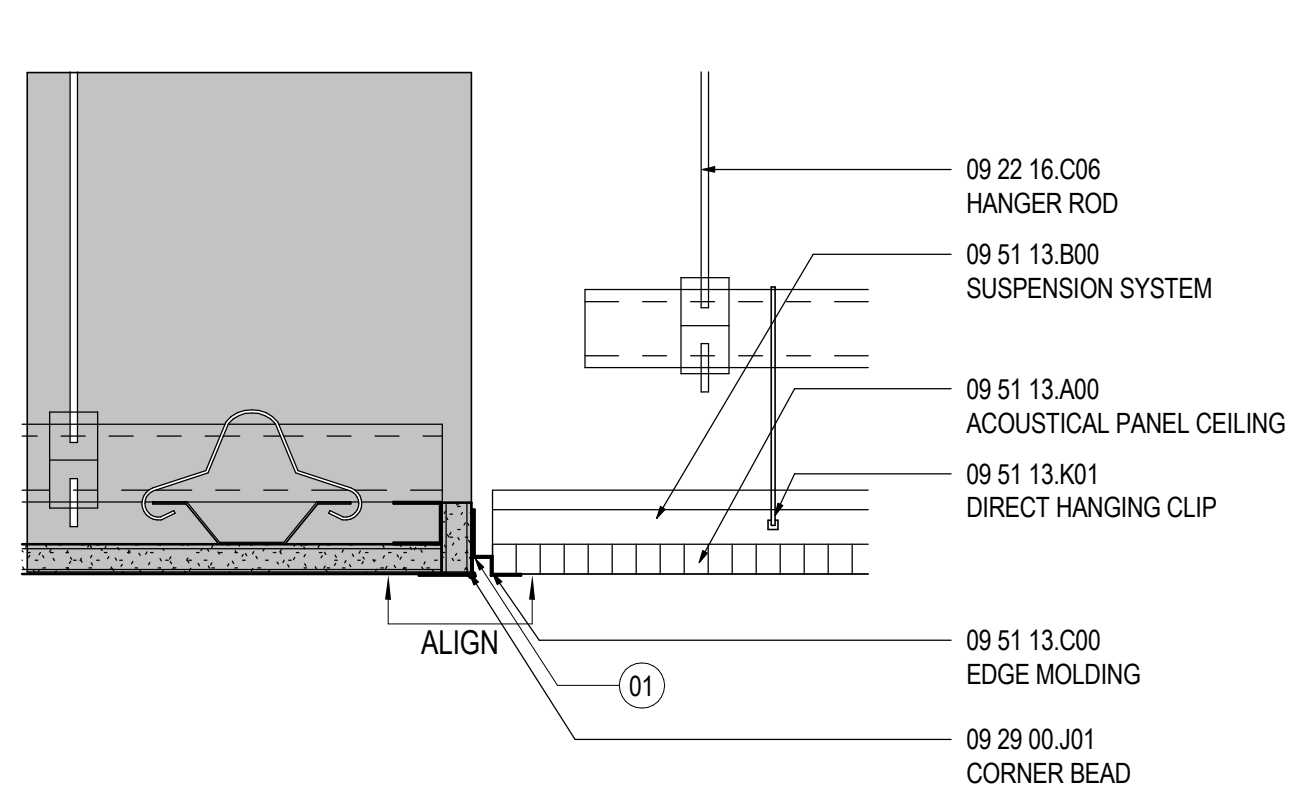
Description  
**INTERIOR ELEVATIONS - FLOOR 2**

Scale  
**1/4" = 1'-0"**

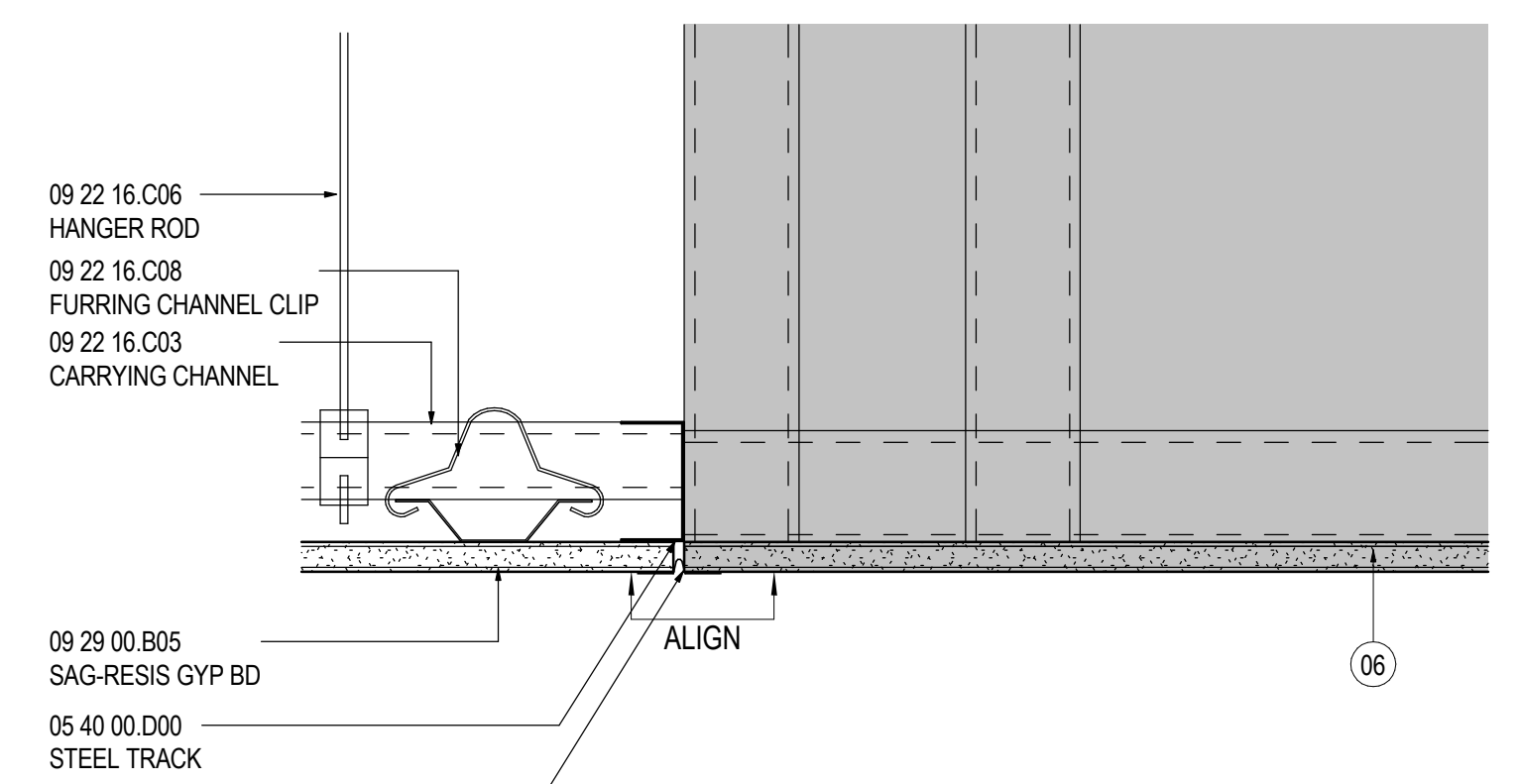
**A-862**



**09 SECTION DETAIL AT LINEAR FIXTURE**  
SCALE: 3" = 1'-0"

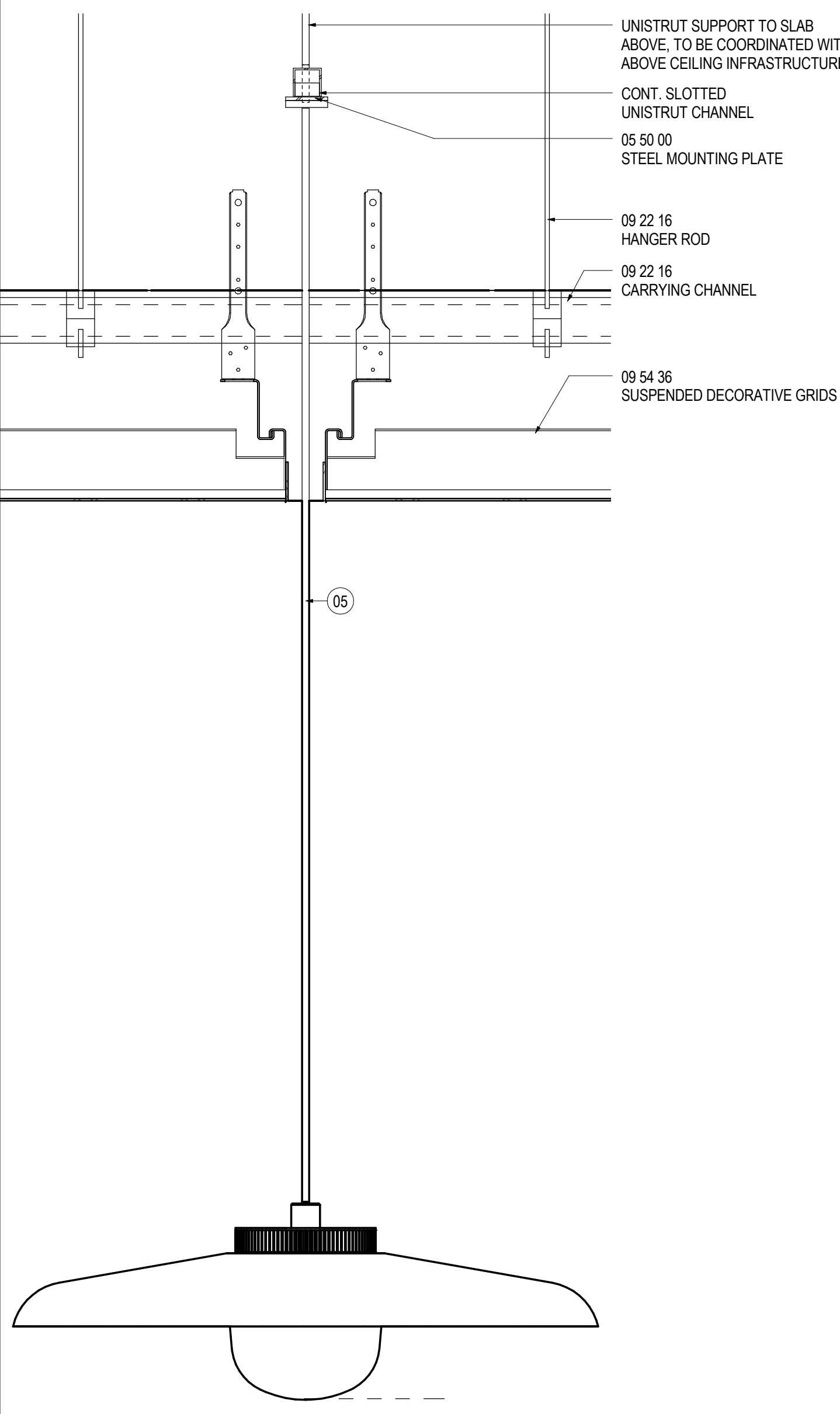


**05 FLUSH GYP-ACT TRANSITION**  
SCALE: 3" = 1'-0"

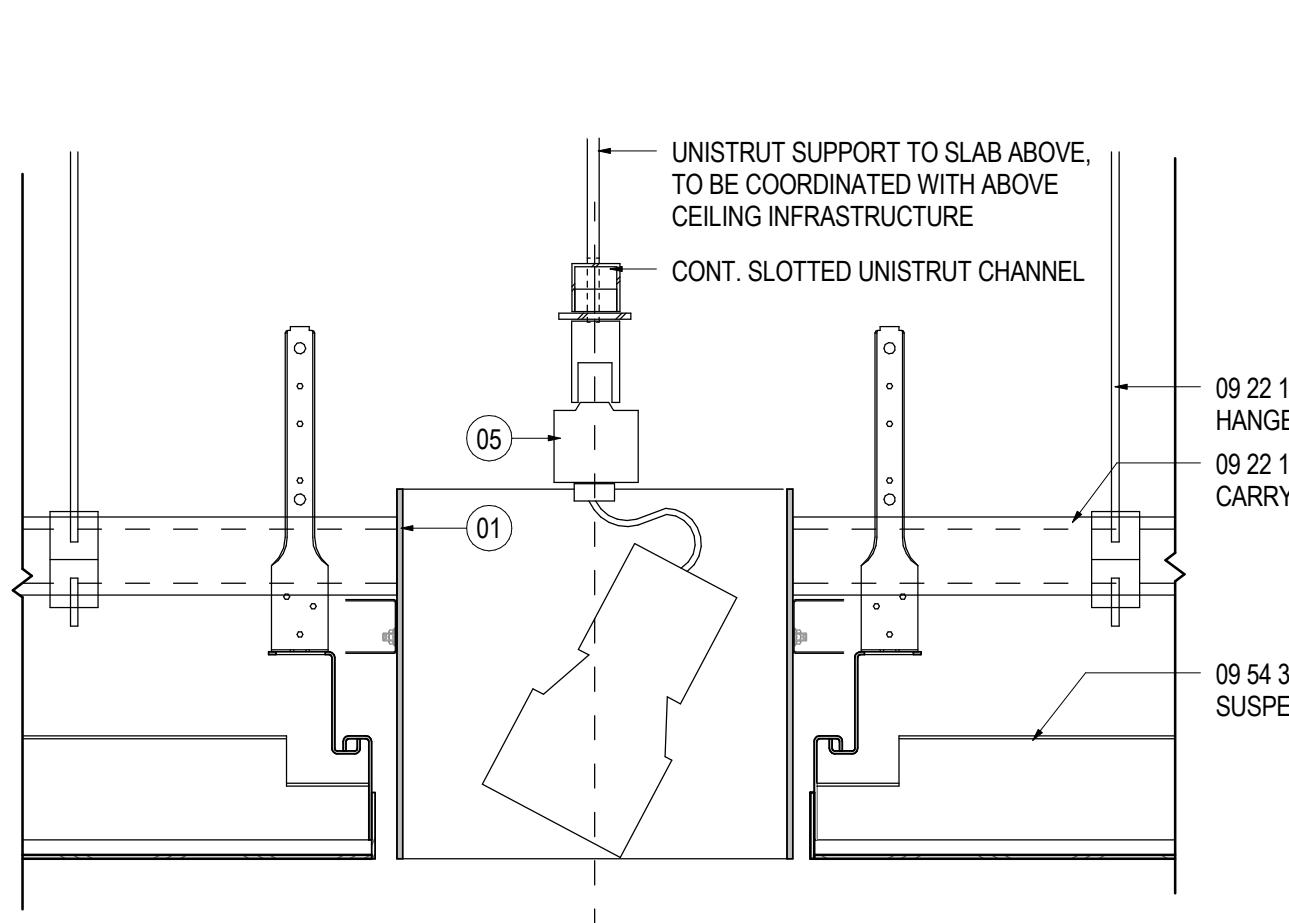


**01 FLUSH GYP-CONTROL JOINT TRANSITION AT SOFFIT**  
SCALE: 3" = 1'-0"

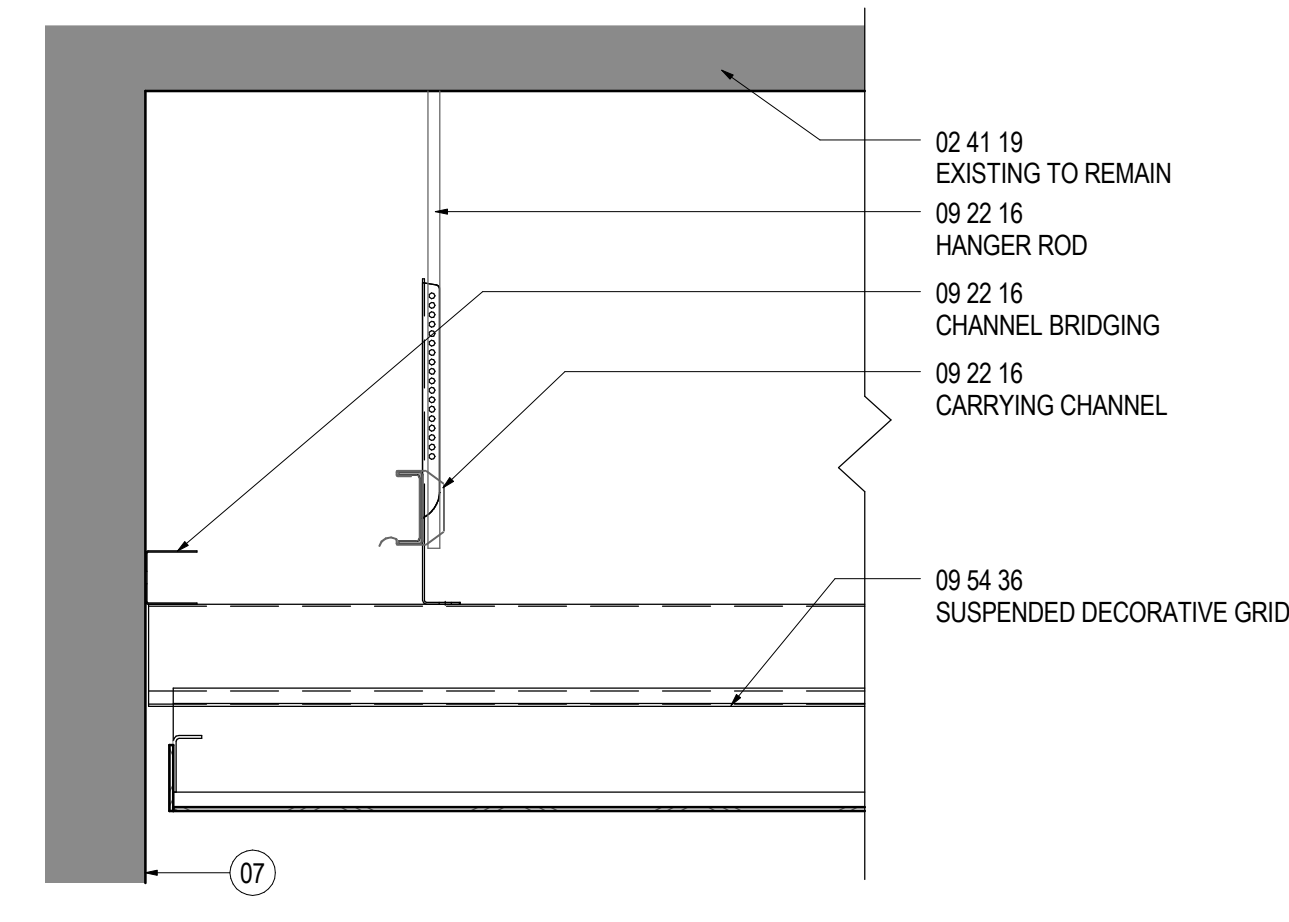
**14 OPEN WORKSTATION SOFFIT**  
SCALE: 3" = 1'-0"



**10 ACT PERIMETER**  
SCALE: 3" = 1'-0"

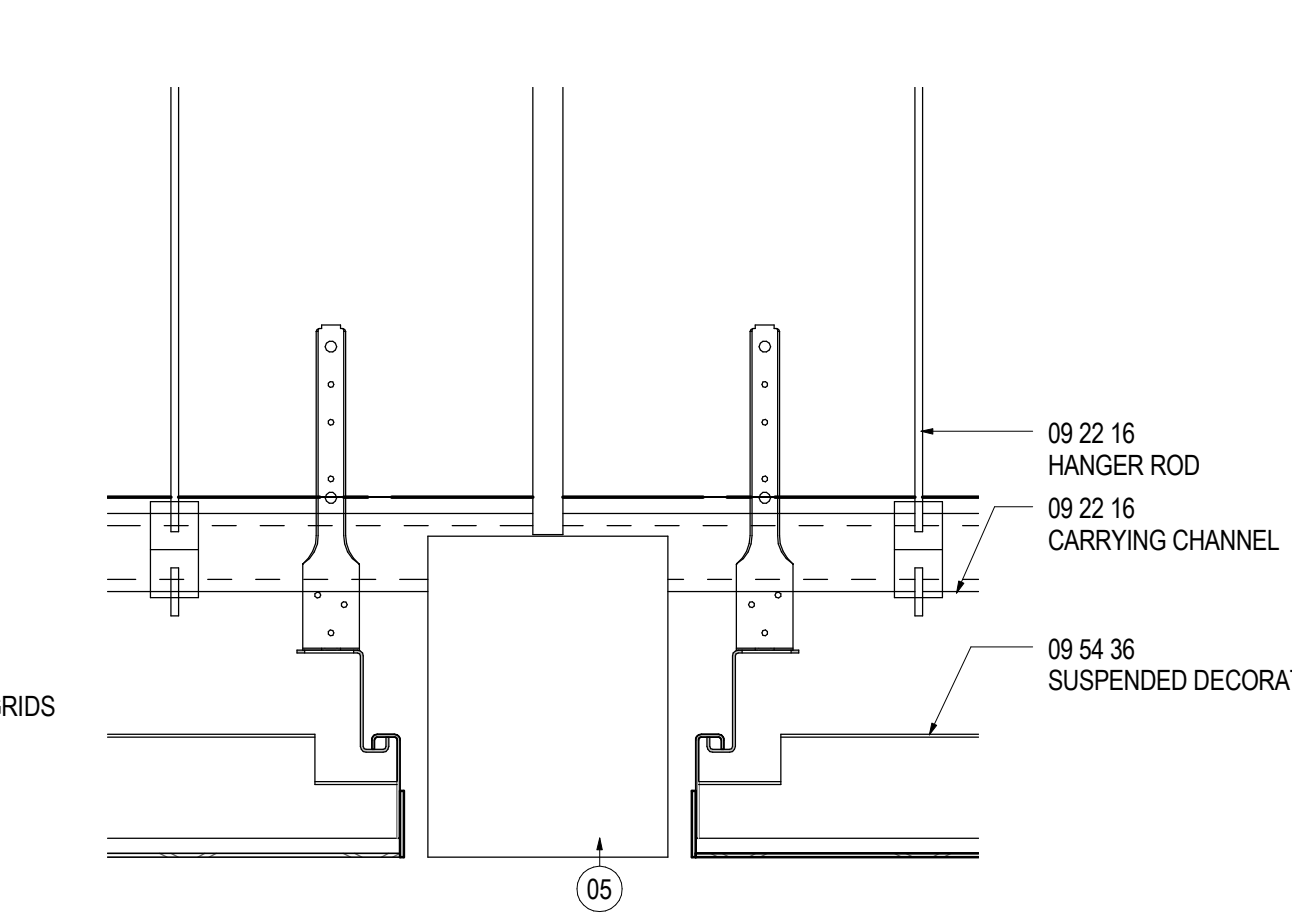


**11 SECTION AT GIFT SHOP TRACK LIGHTING**  
SCALE: 3" = 1'-0"

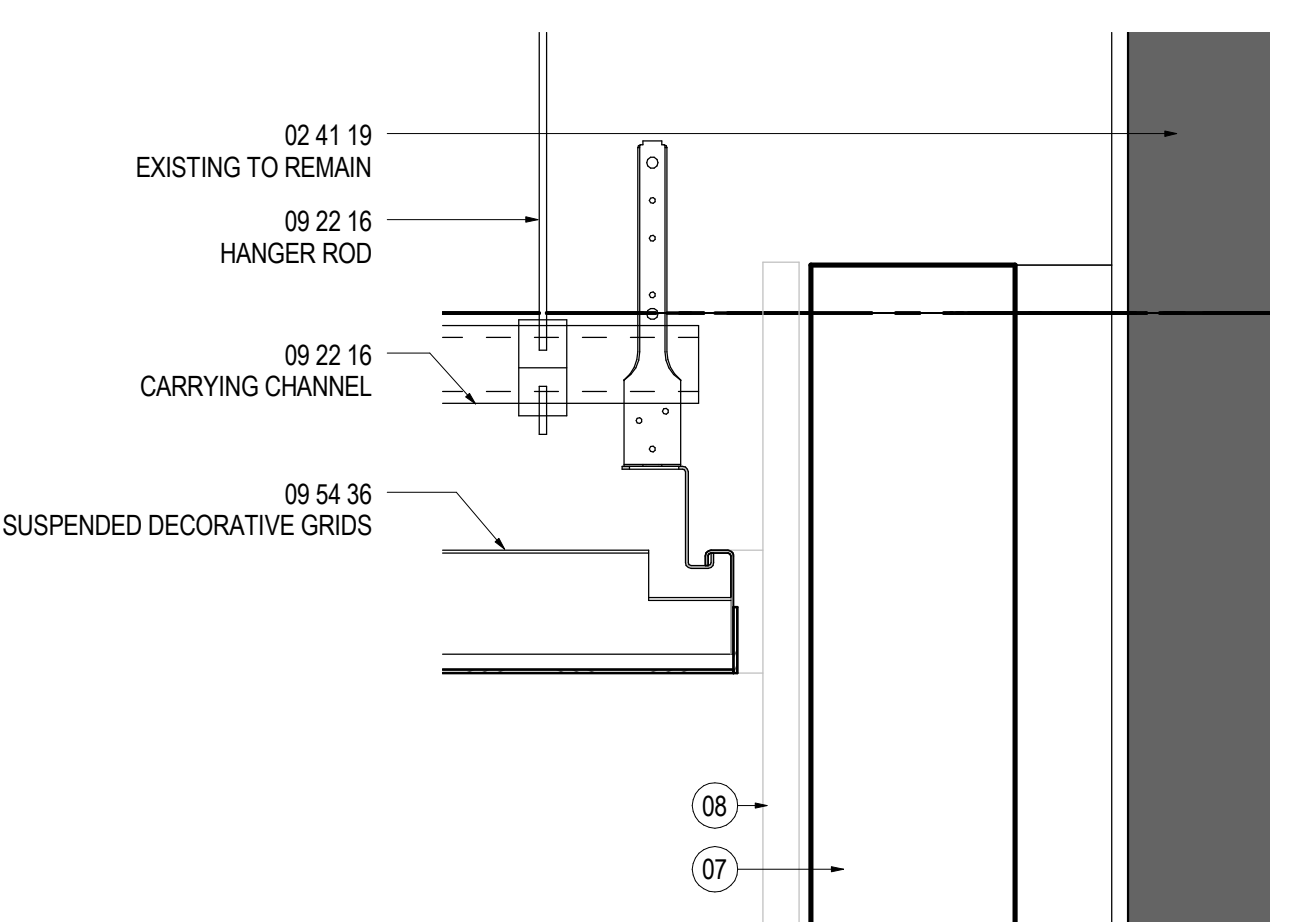


**12 METAL GRID PERIMETER**  
SCALE: 3" = 1'-0"

**06 GYP PERIMETER**  
SCALE: 3" = 1'-0"

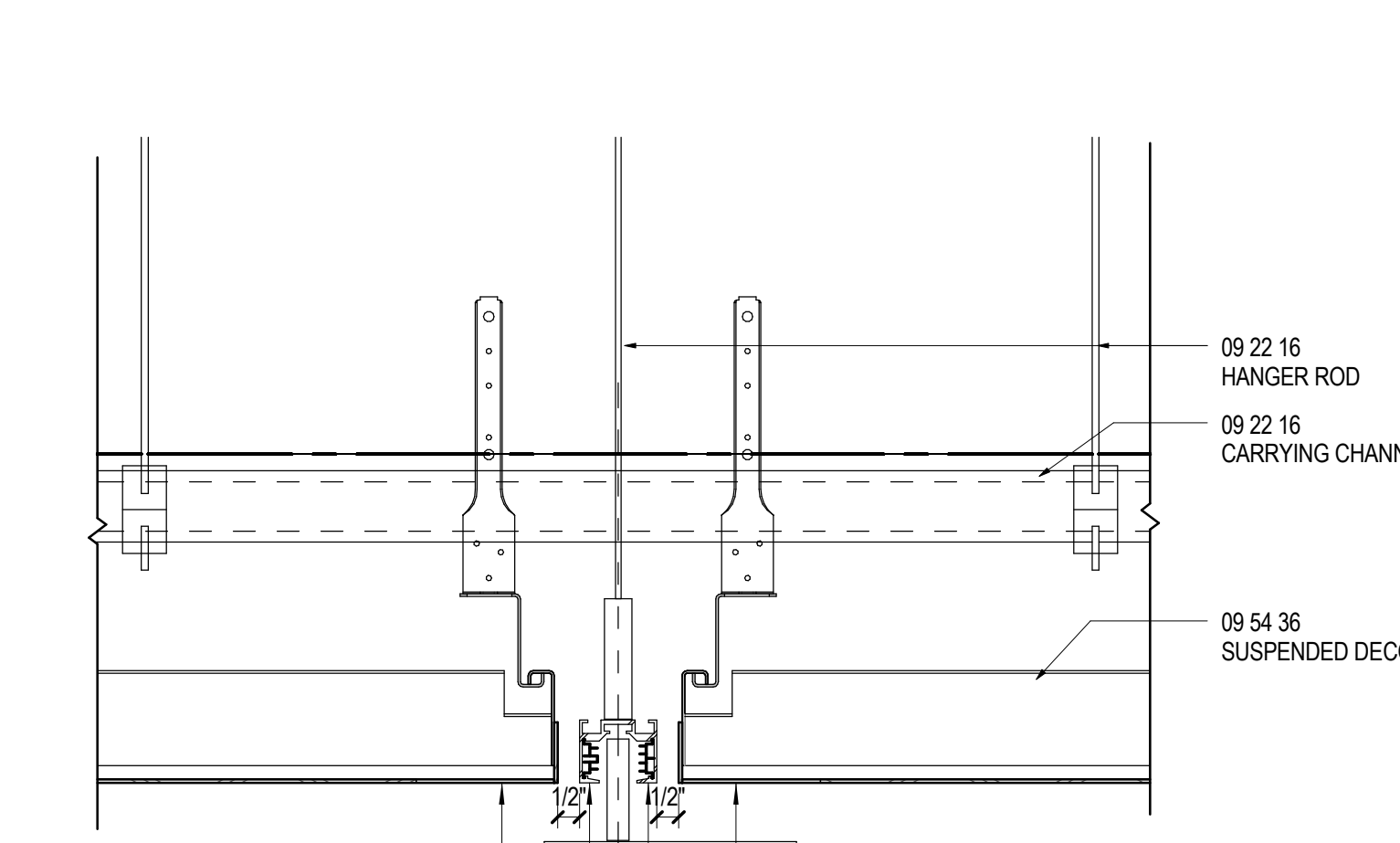


**07 LONGITUDINAL SECTION AT FIXTURE**  
SCALE: 3" = 1'-0"



**08 CEILING AT COLUMN ENCLOSURE**  
SCALE: 3" = 1'-0"

**02 GYP. FLOW BAR DIFFUSER**  
SCALE: 3" = 1'-0"



**03 SECTION DETAIL AT FORUM TRACK LIGHT**  
SCALE: 3" = 1'-0"



**GENERAL NOTES**

- 01 ALL VISIBLE COMPONENTS TO BE PAINTED TO MATCH ADJACENT CEILING FINISH
- 02 CONCEALED LINEAR DIFFUSER WHERE INDICATED (SEE REFLECTED CEILING PLAN). TAPE AND SPACKLE AS REQUIRED, COORDINATE W/ MECHANICAL DRAWINGS
- 03 SCHEDULED DUCTWORK SHOWN FOR REFERENCE ONLY. REFER TO MECHANICAL DRAWINGS FOR DUCTWORK LAYOUT.
- 04 SPRAYED ACOUSTIC INSULATION, PATCH AND REPLACE AS NEEDED. REFER TO REFLECTED CEILING PLAN FOR MORE INFORMATION
- 05 SCHEDULED LIGHTING FIXTURE. REFER TO REFLECTED CEILING PLAN AND LIGHTING SPECS FOR MORE INFORMATION.
- 06 EXISTING CEILING TO REMAIN
- 07 SCHEDULED OR EXISTING PARTITION.
- 08 EXHIBIT DISPLAY. REFER TO EXHIBIT DESIGNER AND AV DRAWINGS FOR MORE INFORMATION.

**SHEET NOTES**

Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
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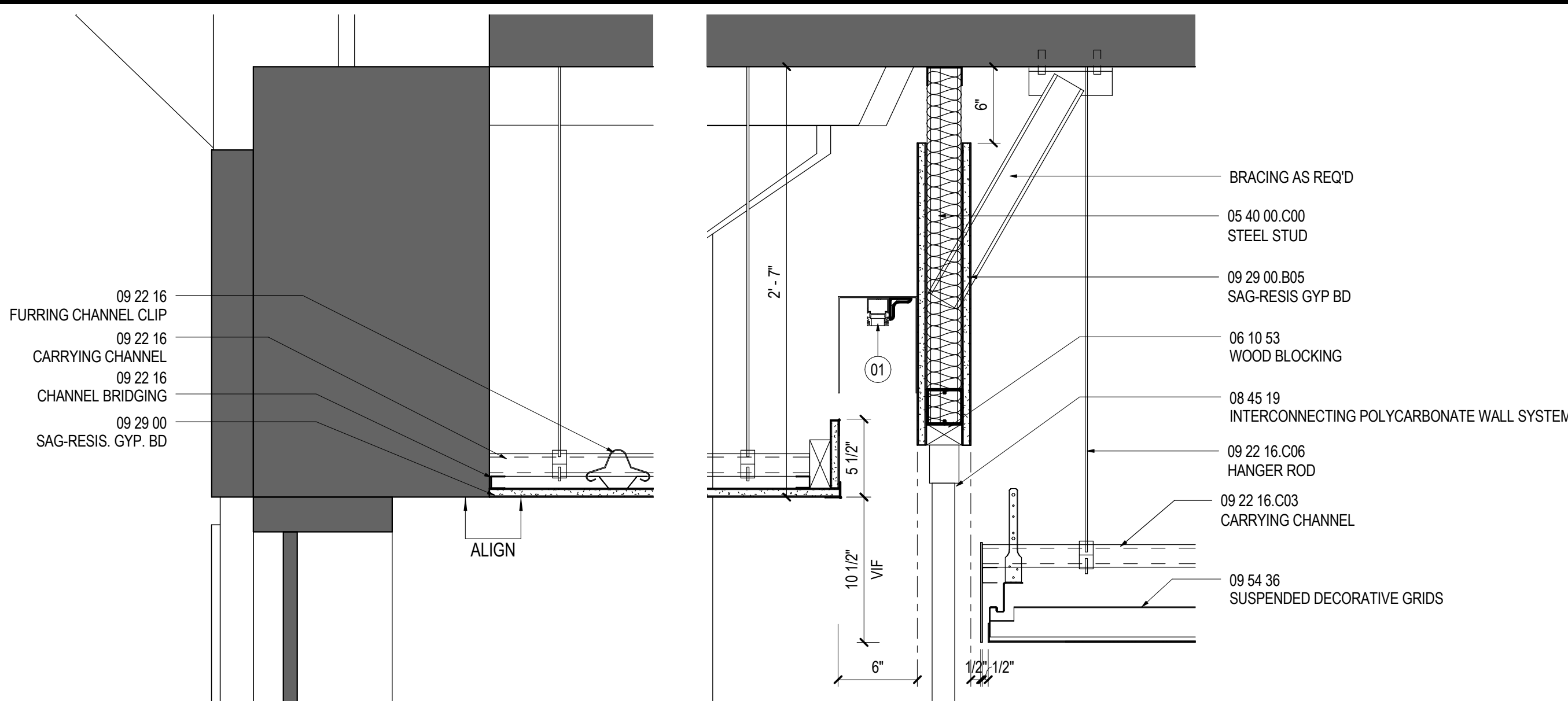
Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

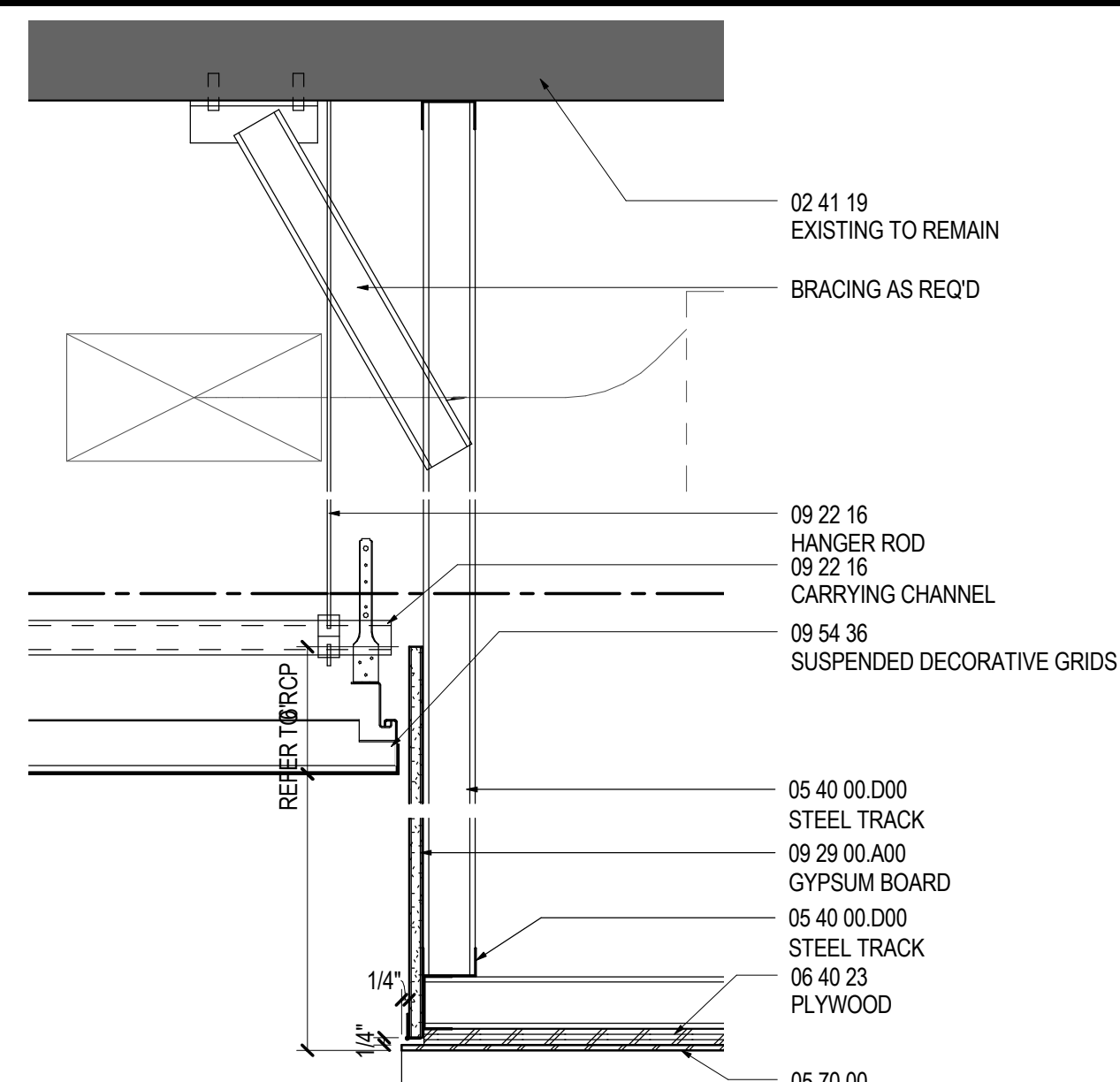
Description  
**DETAILS - CEILING TRANSITIONS**

Scale  
**3" = 1'-0"**

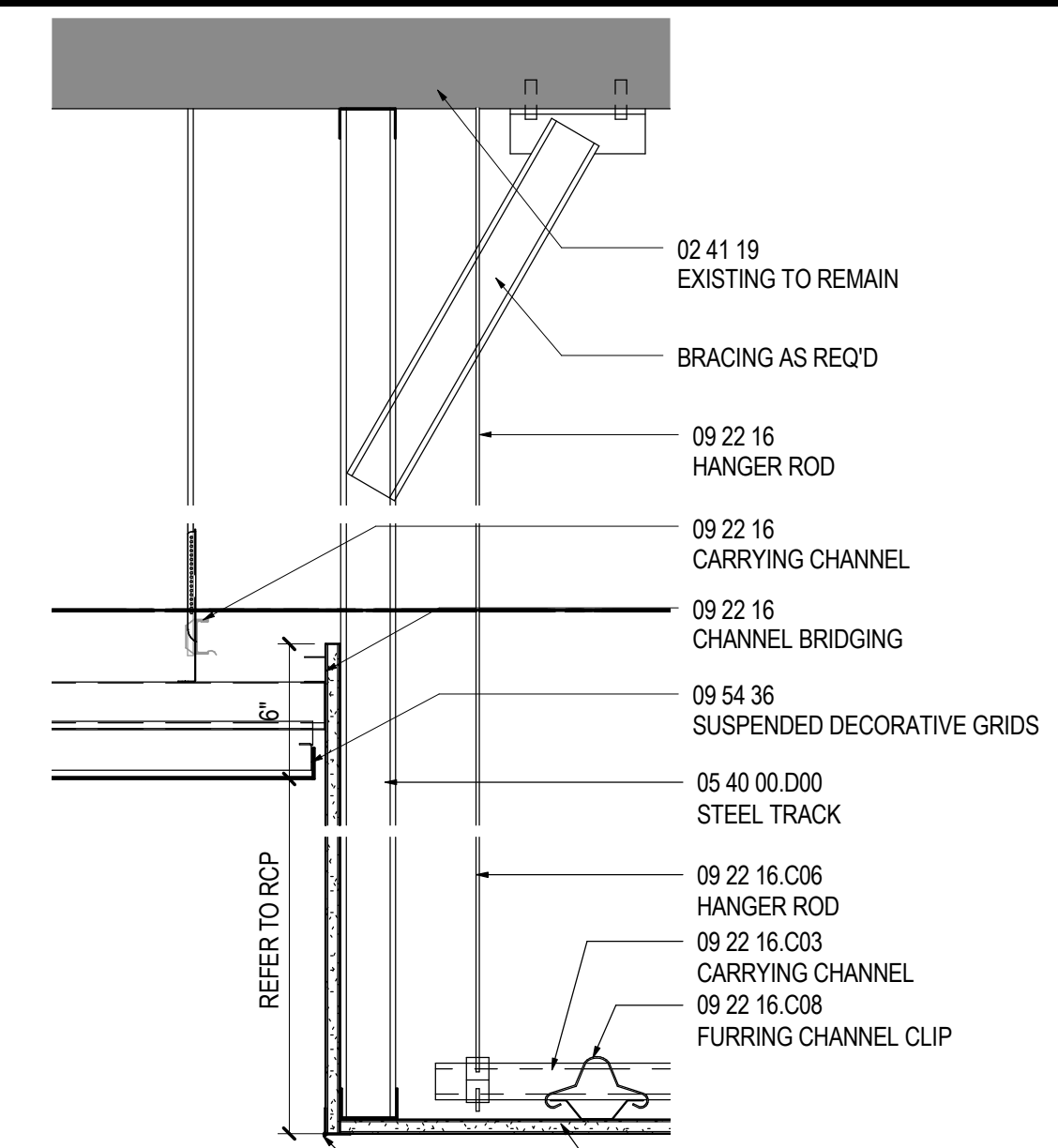
**A-901**



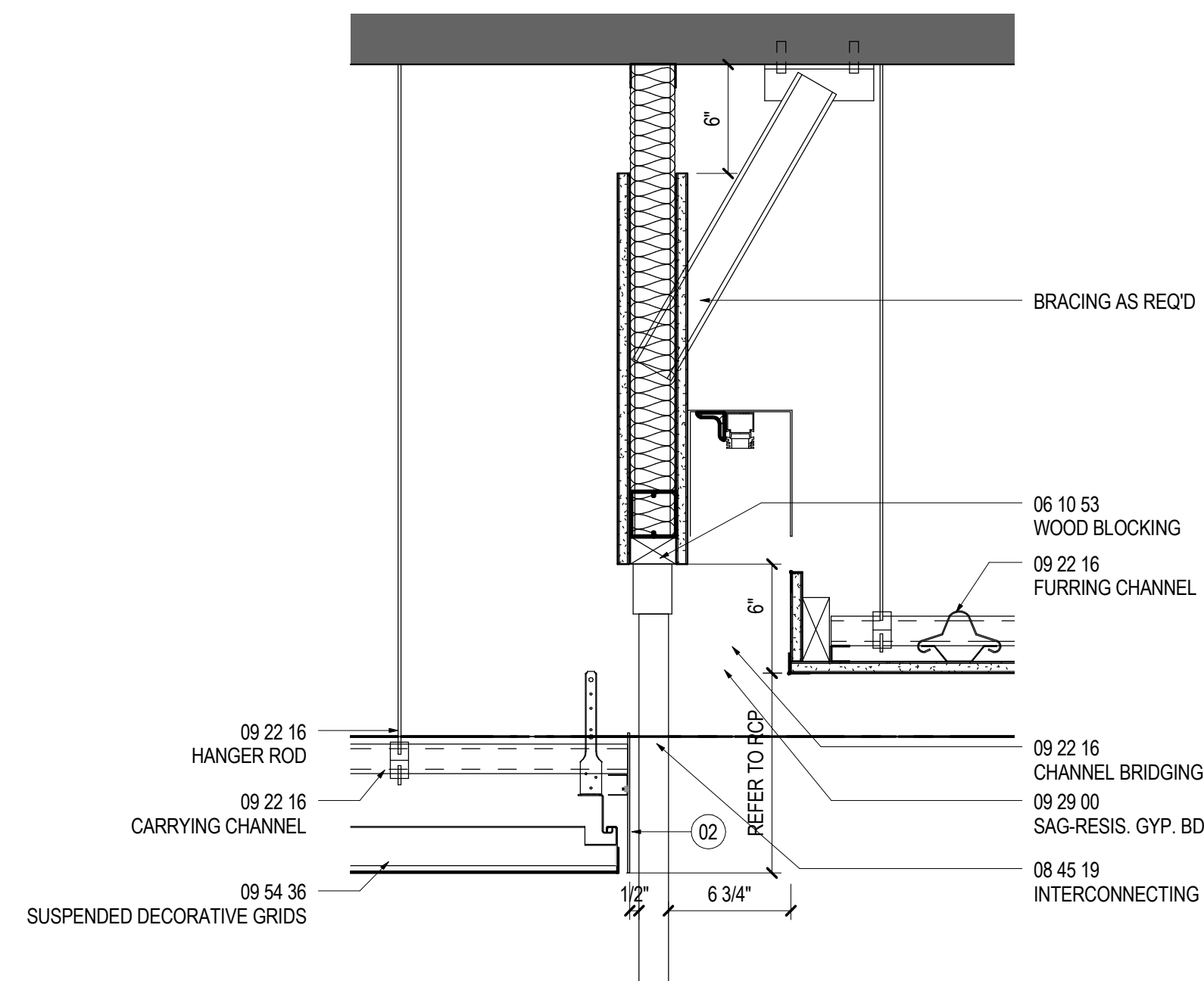
**13 POLYCARBONATE WALL HEAD DETAIL AT STOREFRONT**  
SCALE: 1 1/2" = 1'-0"



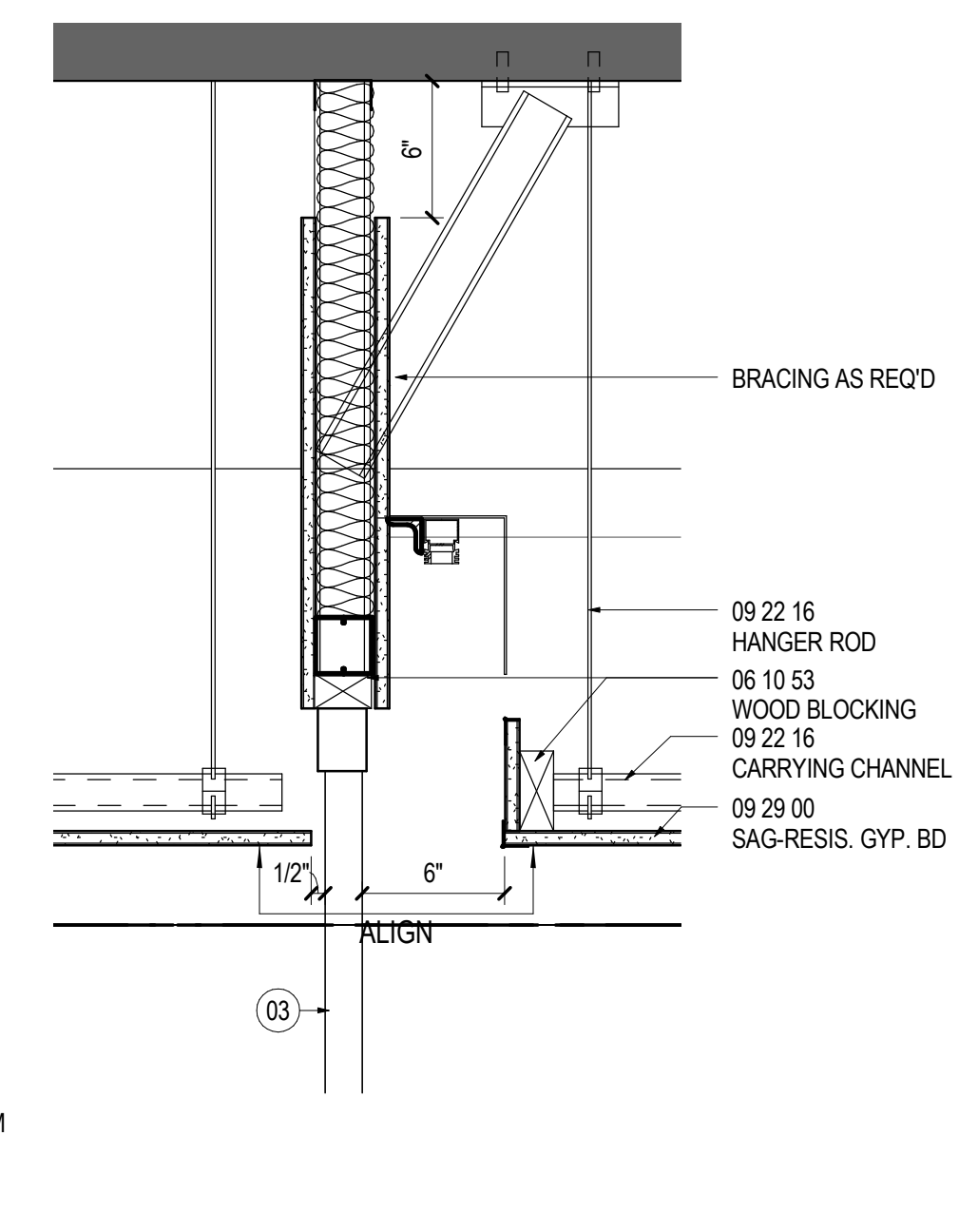
**05 METAL MESH CEILING AT METAL PORTAL**  
SCALE: 1 1/2" = 1'-0"



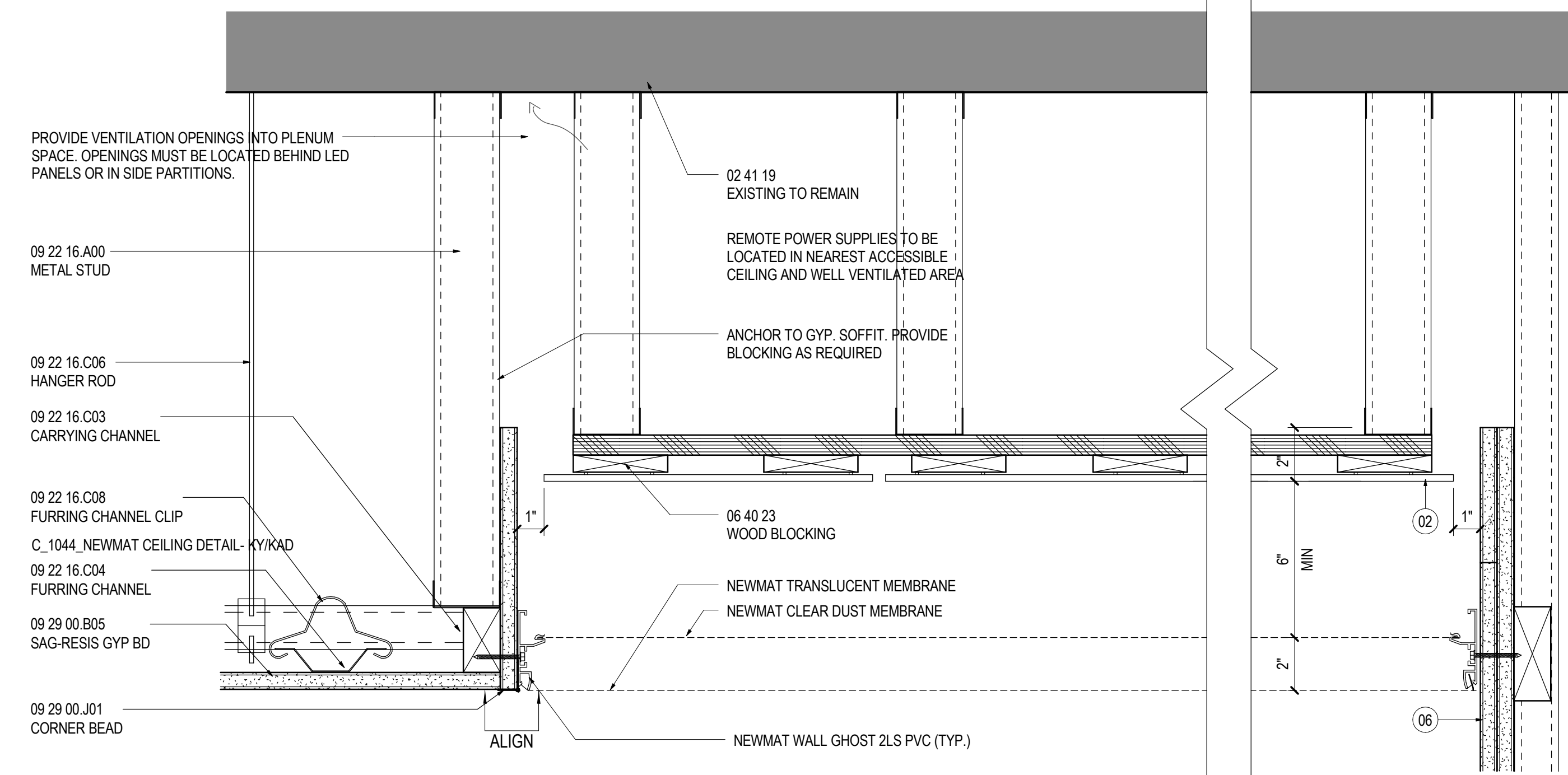
**01 TYP. METAL MESH CEILING AT SOFFIT**  
SCALE: 1 1/2" = 1'-0"



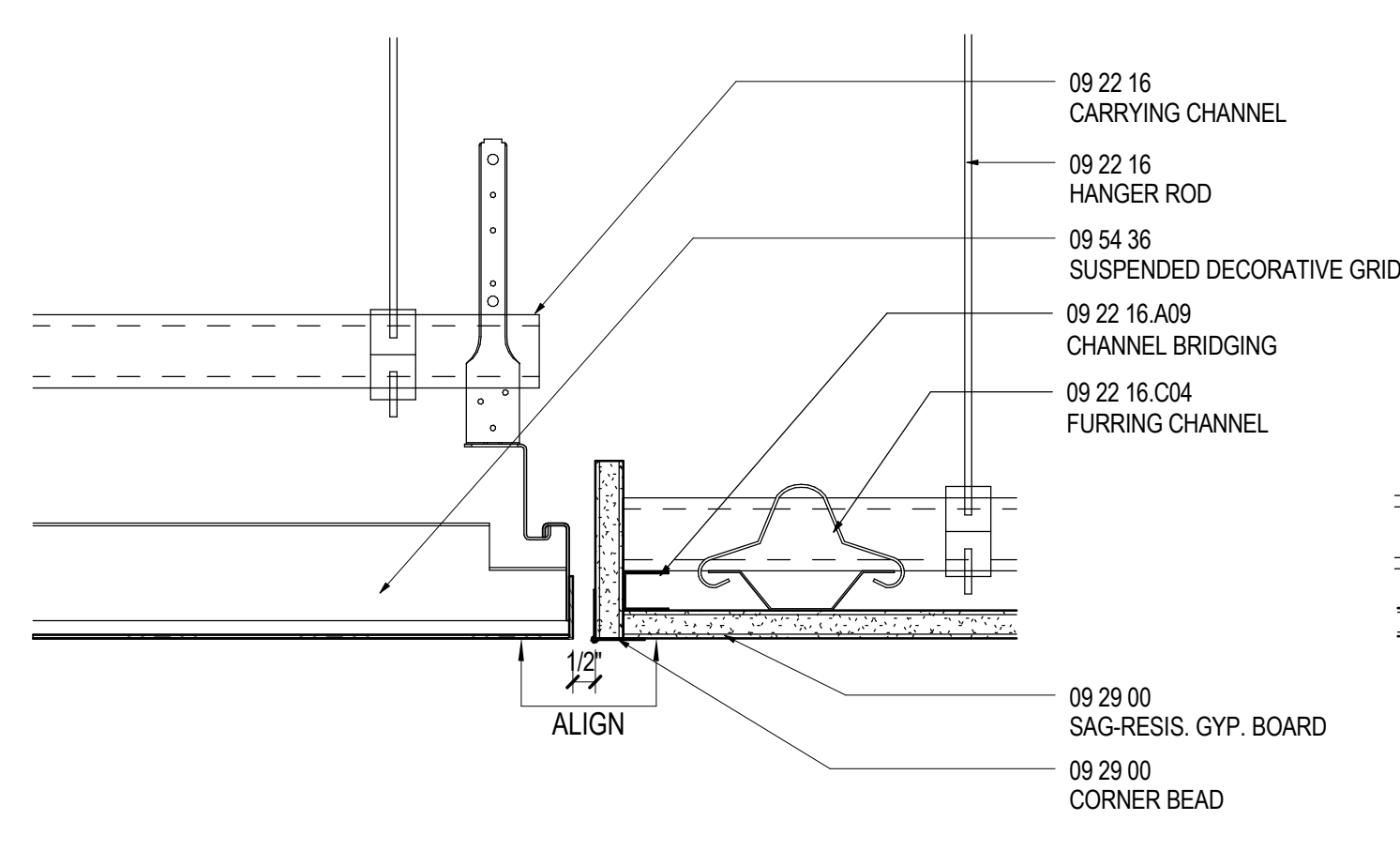
**14 POLYCARBONATE WALL SECTION AT SOFFIT**  
SCALE: 1 1/2" = 1'-0"



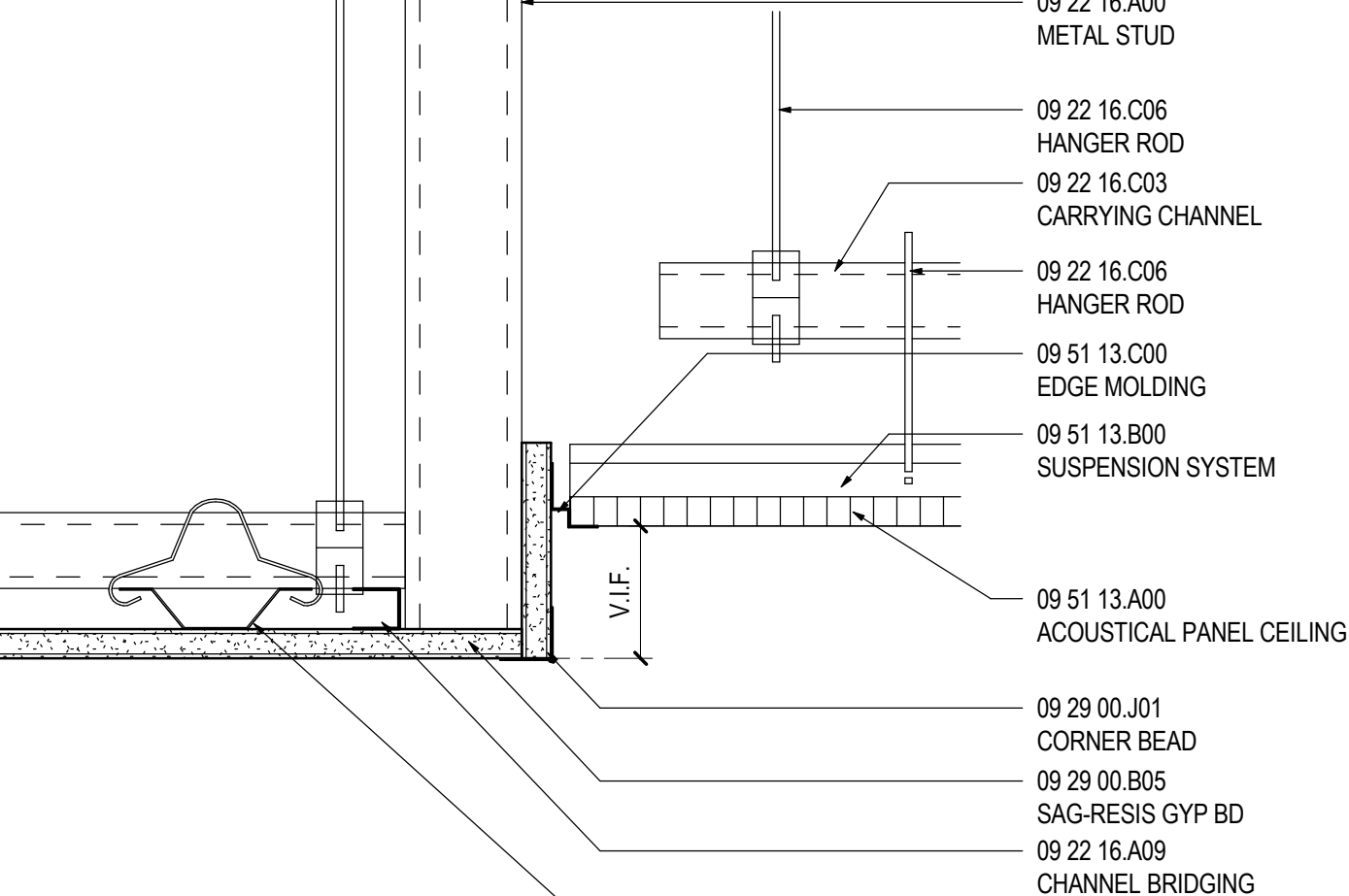
**10 POLYCARBONATE WALL SECTION AT DUGOUT**  
SCALE: 1 1/2" = 1'-0"



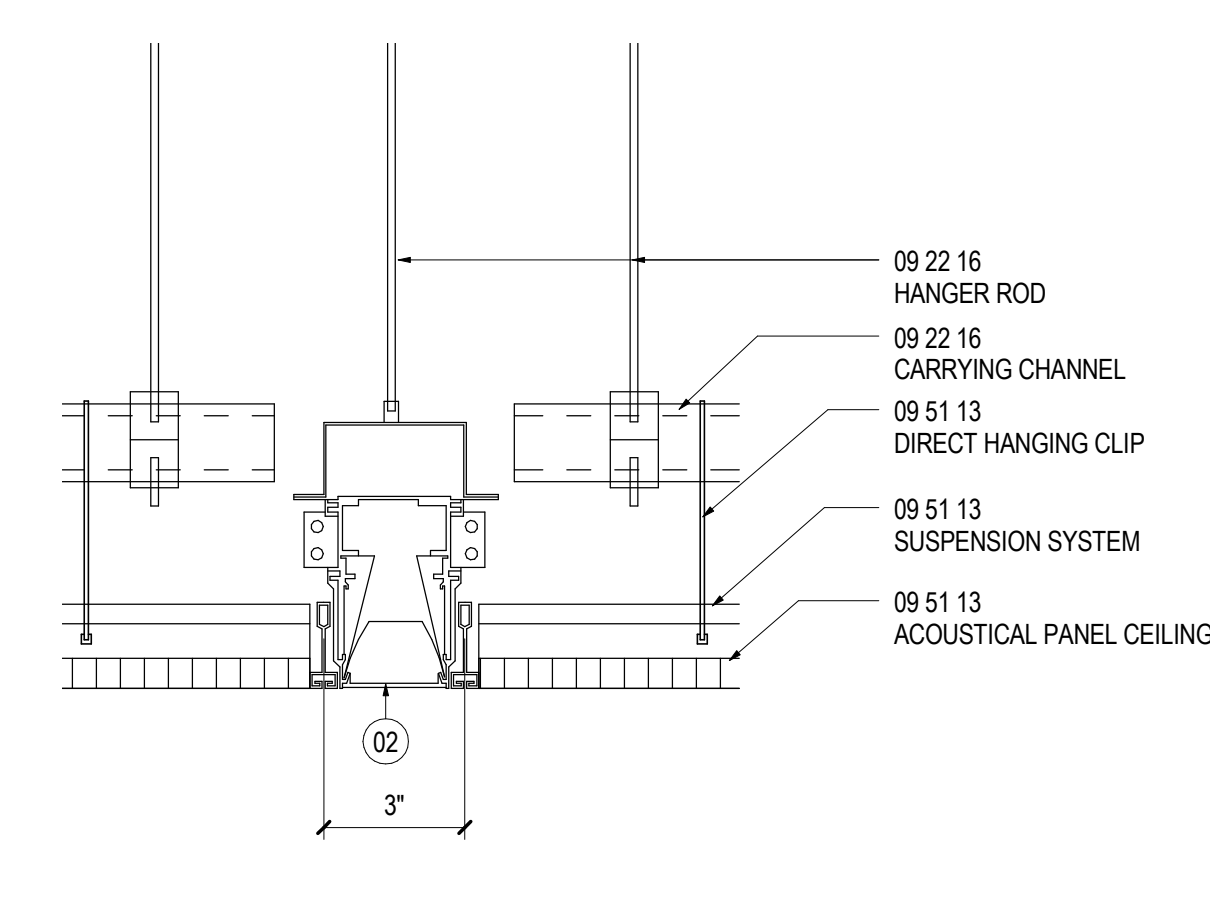
**06 GYP. TRANSITION AT NEWMAT CEILING**  
SCALE: 3" = 1'-0"



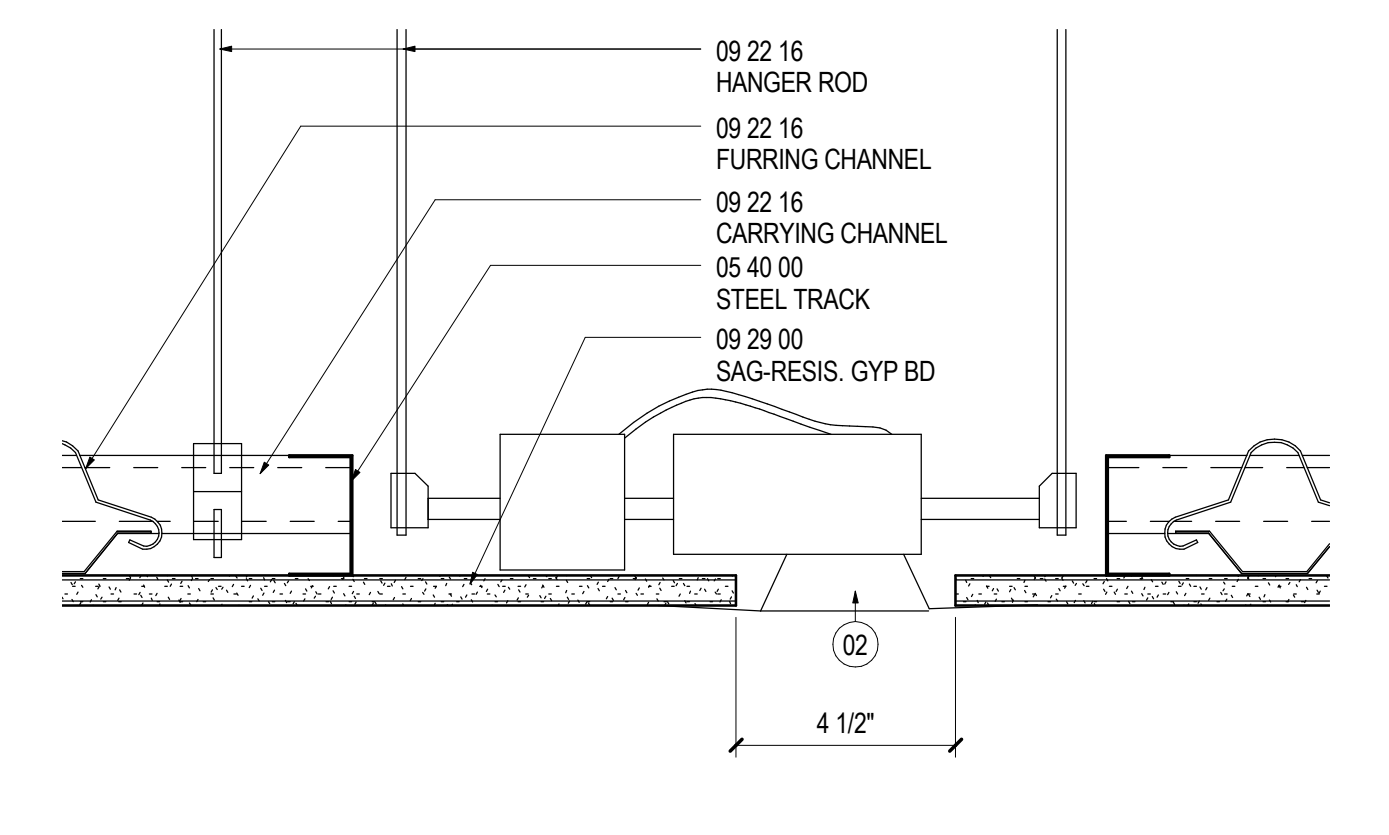
**11 FLUSH GYP-METAL GRID TRANSITION**  
SCALE: 3" = 1'-0"



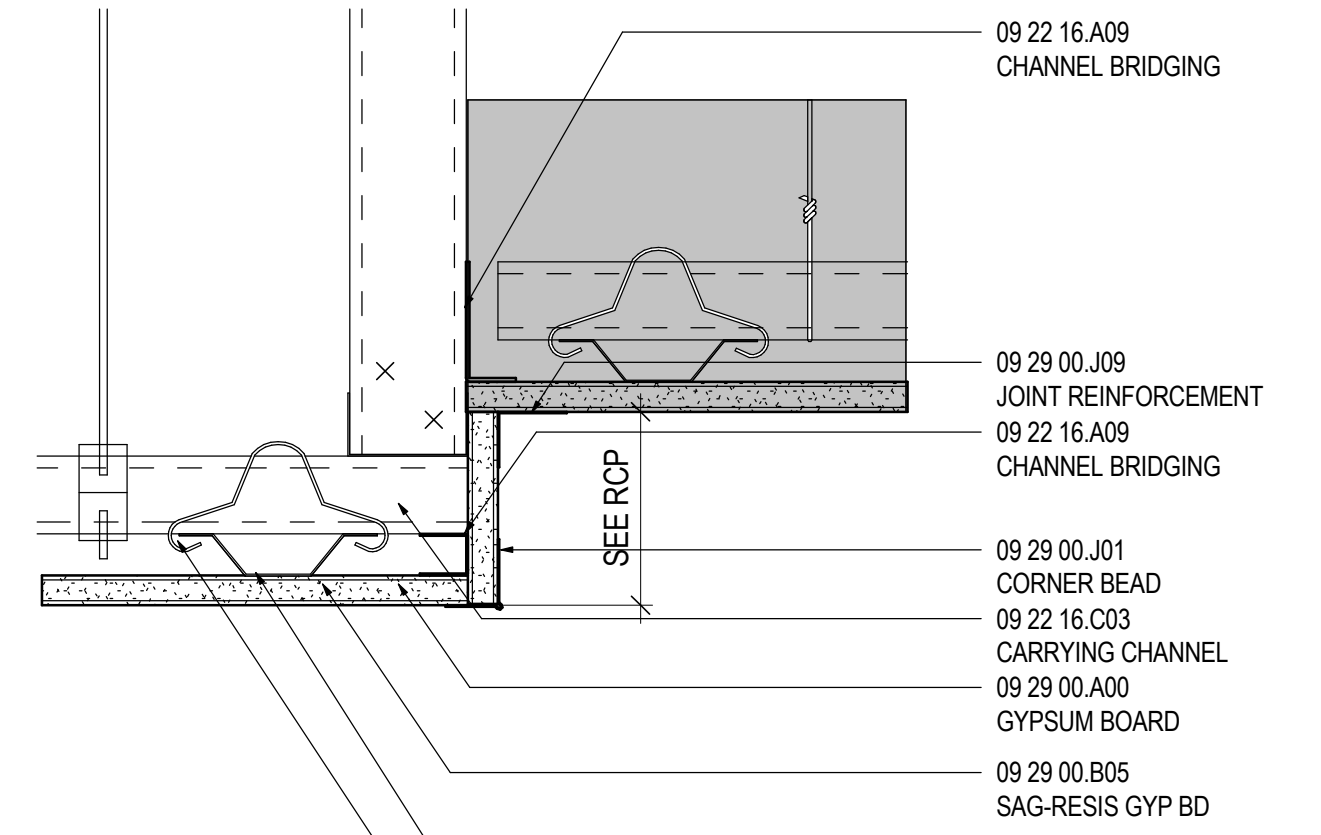
**07 GYP TO ACT CEILING TRANSITION**  
SCALE: 3" = 1'-0"



**03 SECTION DETAIL AT ACT LIGHT**  
SCALE: 3" = 1'-0"



**08 TYP. SECTION AT DOWNLIGHT**  
SCALE: 3" = 1'-0"



**04 GYP-GYP TRANSITION**  
SCALE: 3" = 1'-0"

**GENERAL NOTES**

02 SCHEDULED LIGHT FIXTURE. REFER TO REFLECTED CEILING PLAN FOR MORE INFORMATION.  
06 SCHEDULED OR EXISTING PARTITION.

**SHEET NOTES**

02 SCHEDULED LIGHT FIXTURE. REFER TO REFLECTED CEILING PLAN FOR MORE INFORMATION.  
06 SCHEDULED OR EXISTING PARTITION.

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Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR CONSTRUCTION**

Project Name  
Jackie Robinson Foundation

Project Number  
06.6256.015

Description  
DETAILS - CEILING TRANSITIONS

Scale  
As indicated

**A-902**

**GENERAL NOTES**

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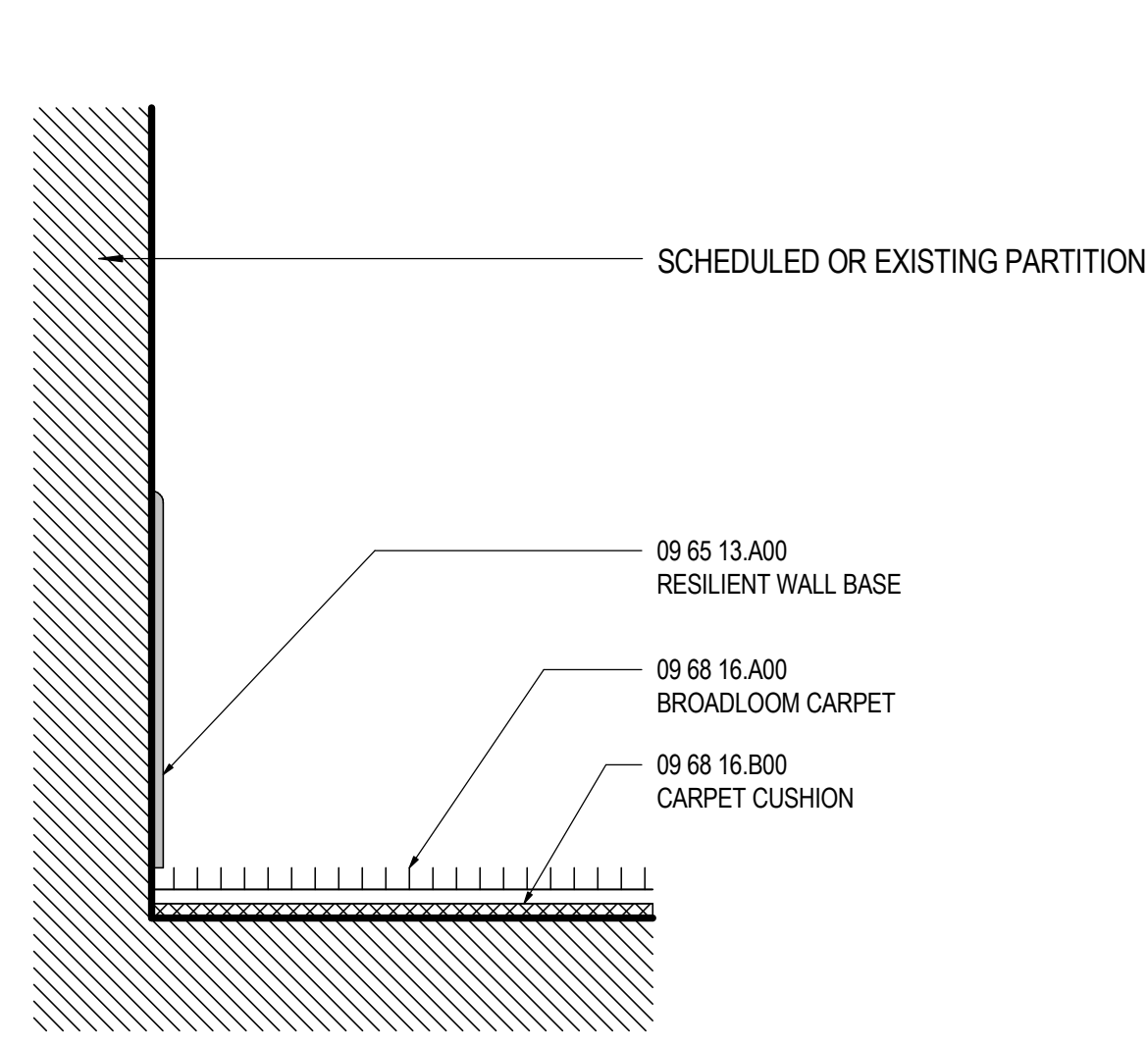
Cerami  
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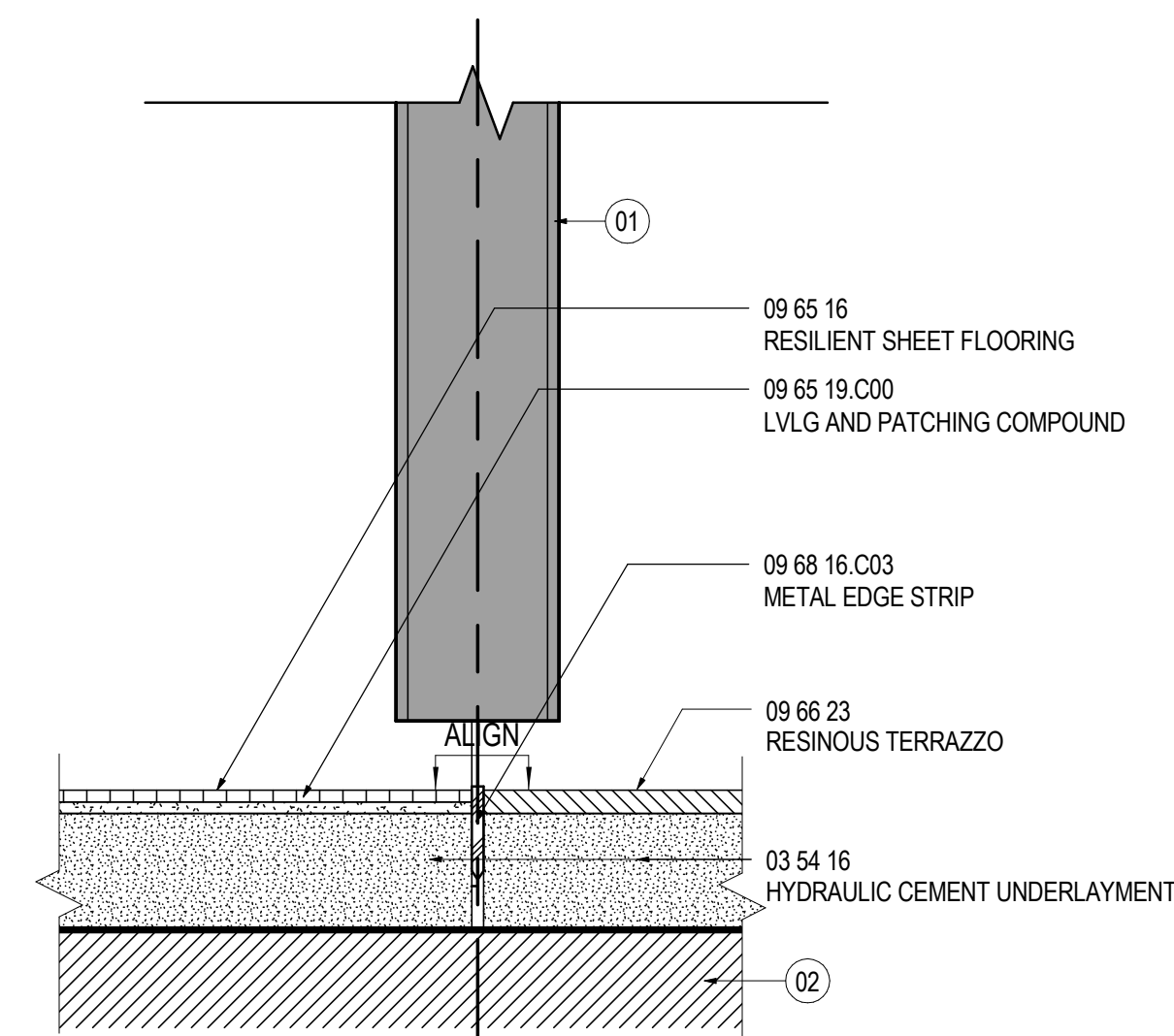
**SHEET NOTES**

- 01 SCHEDULED DOOR AND FRAME ASSEMBLY.
- 02 EXISTING CONCRETE SLAB.
- 03 EXISTING GRADE - VERIFY SLOPE IN FIELD.

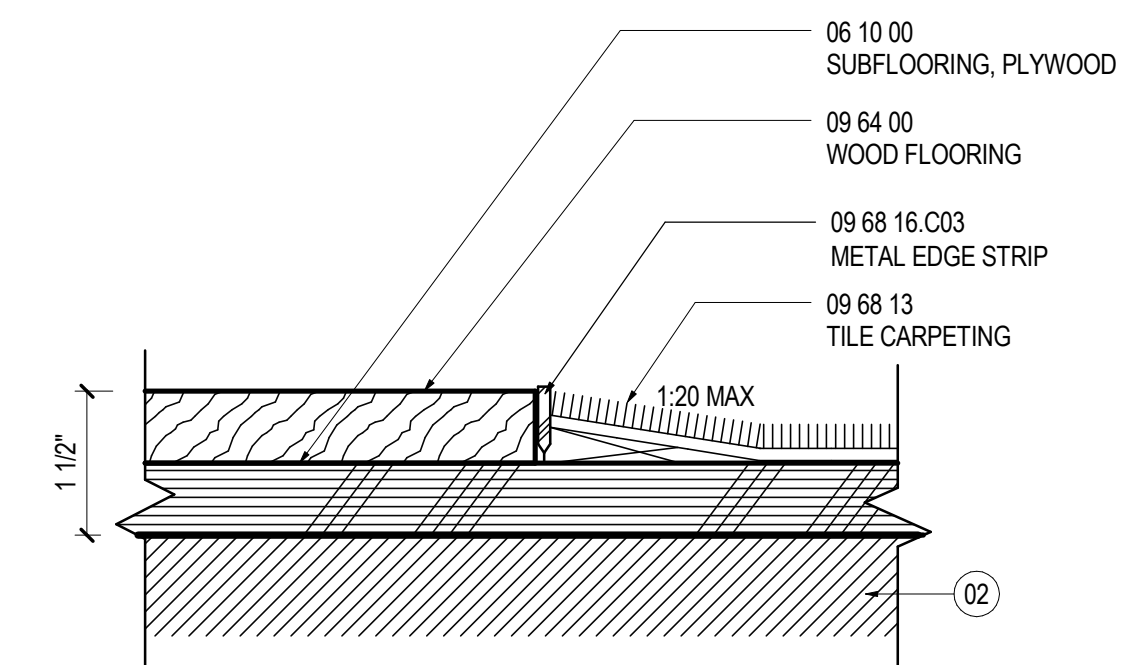
Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
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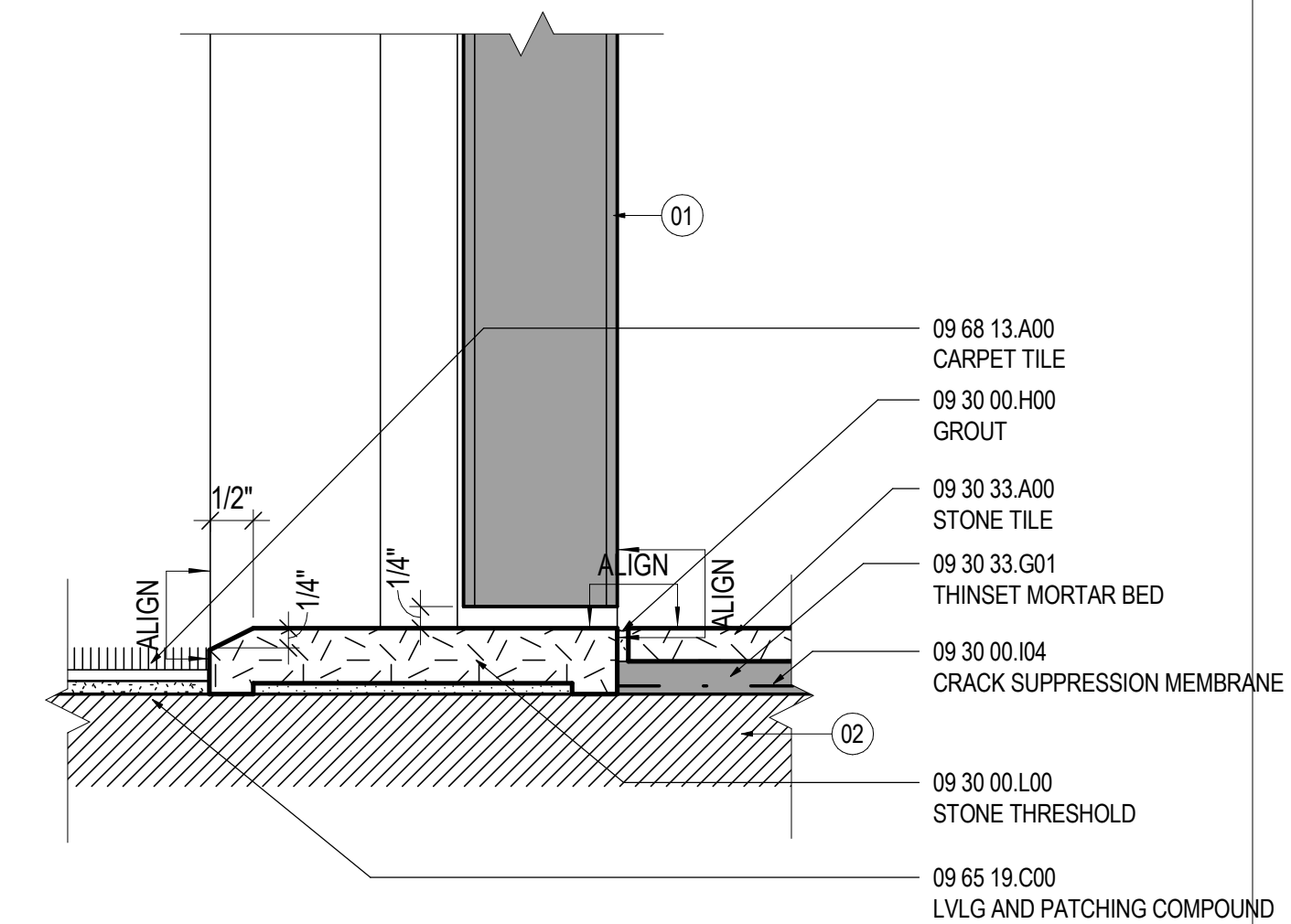
**13 RESILIENT BASE - CARPET**  
SCALE: 6" = 1'-0"



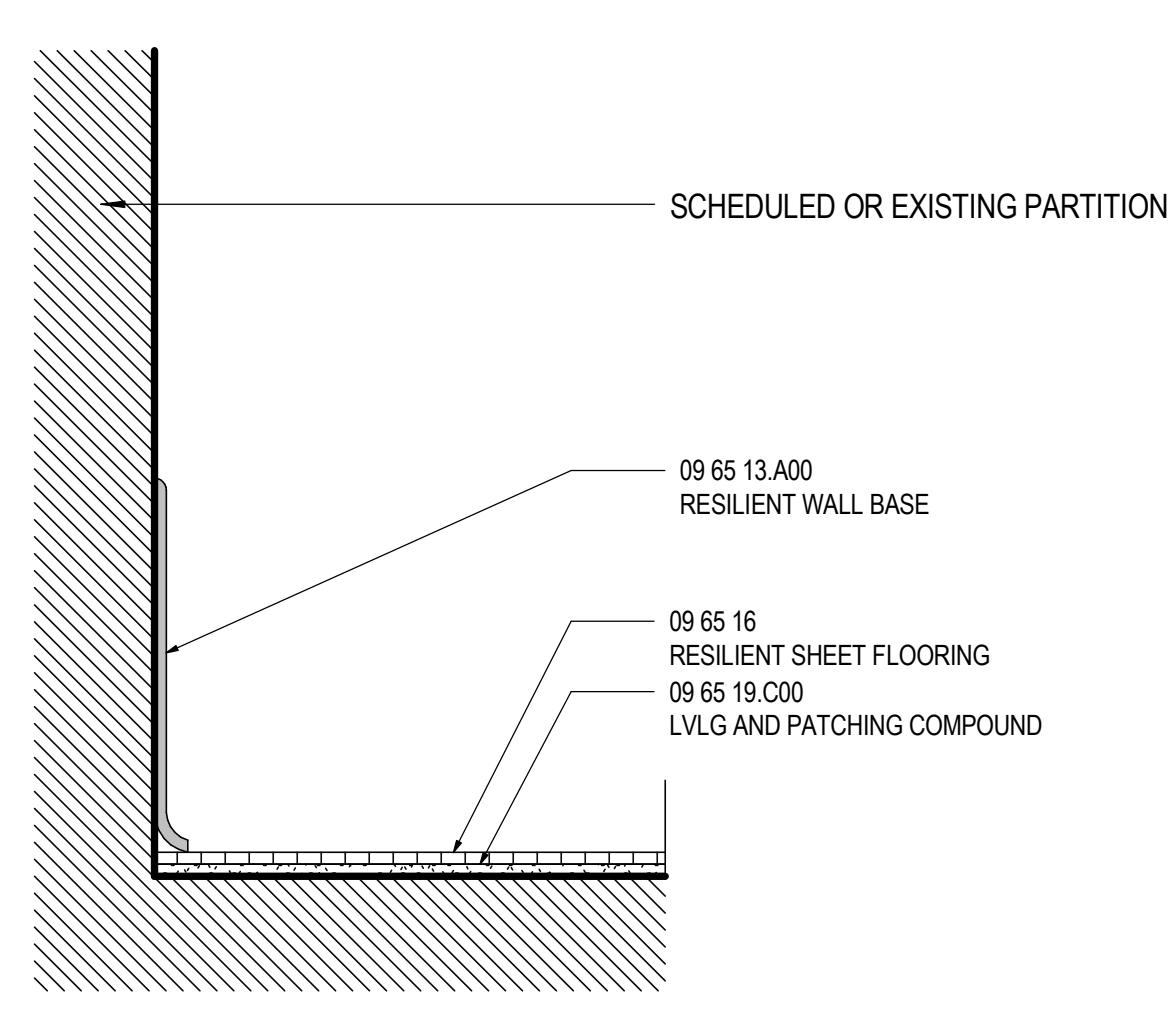
**09 RESILIENT TILE TO TERRAZZO**  
SCALE: 6" = 1'-0"



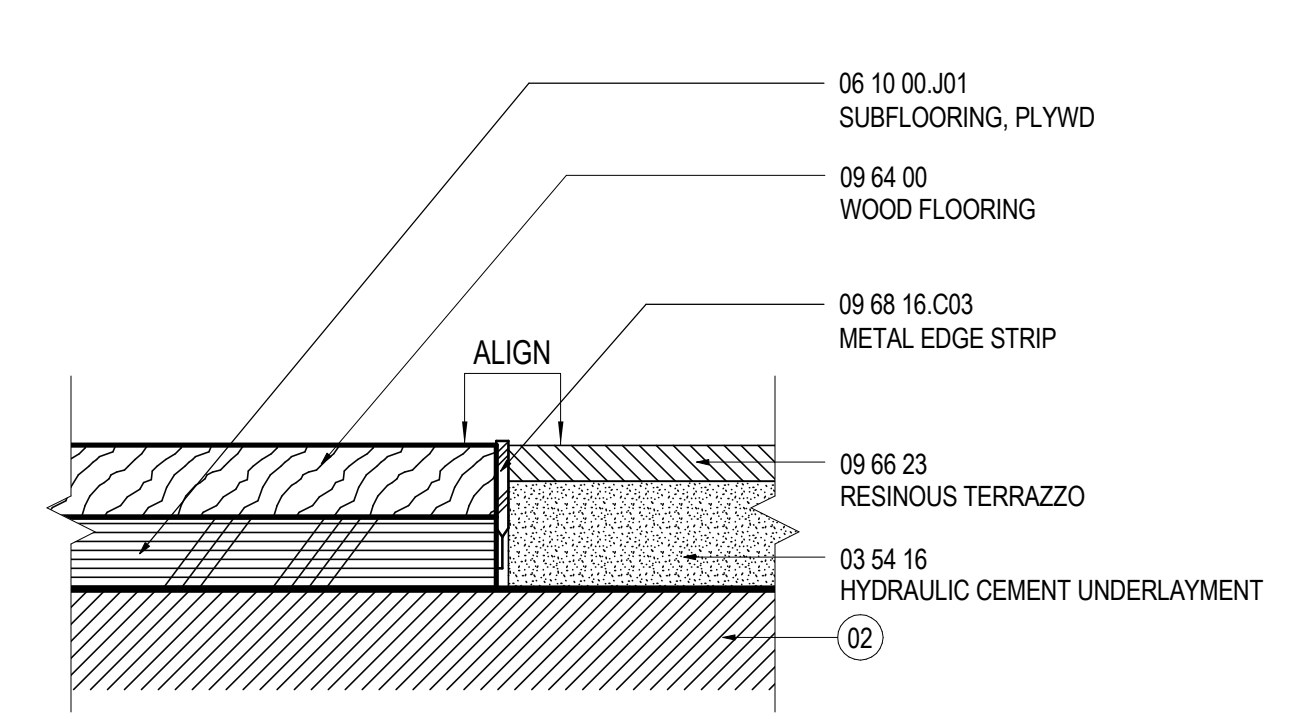
**05 WOOD PLANK TO CARPET**  
SCALE: 6" = 1'-0"



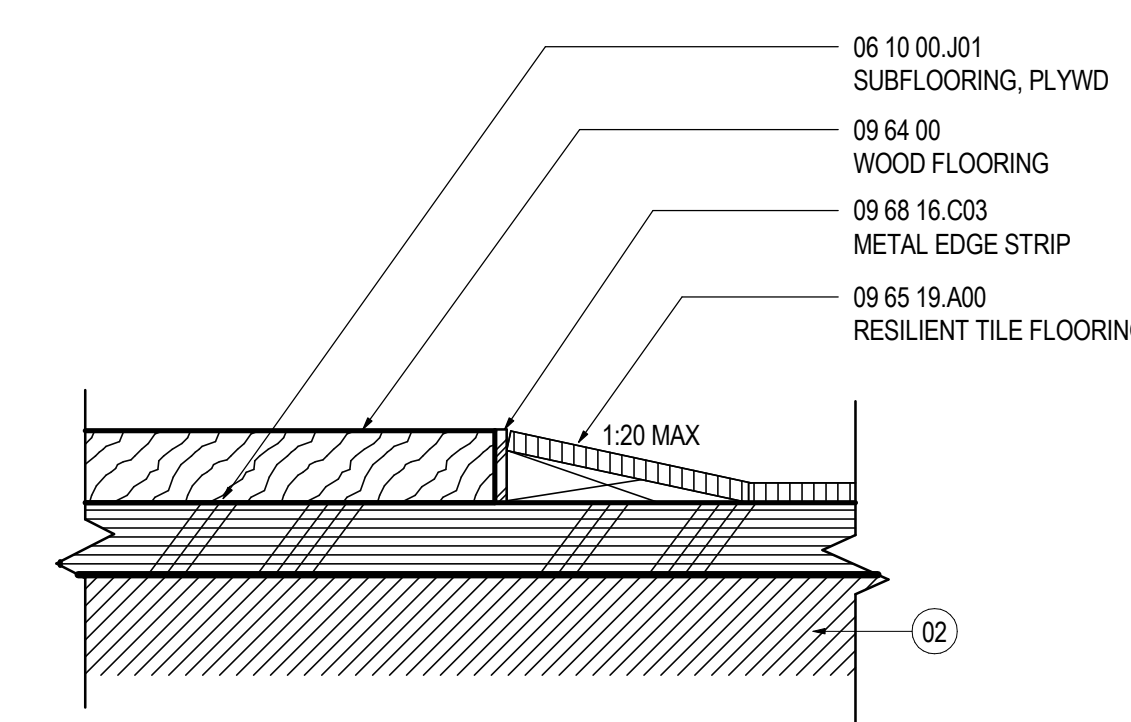
**01 CARPET TO STONE TILE**  
SCALE: 6" = 1'-0"



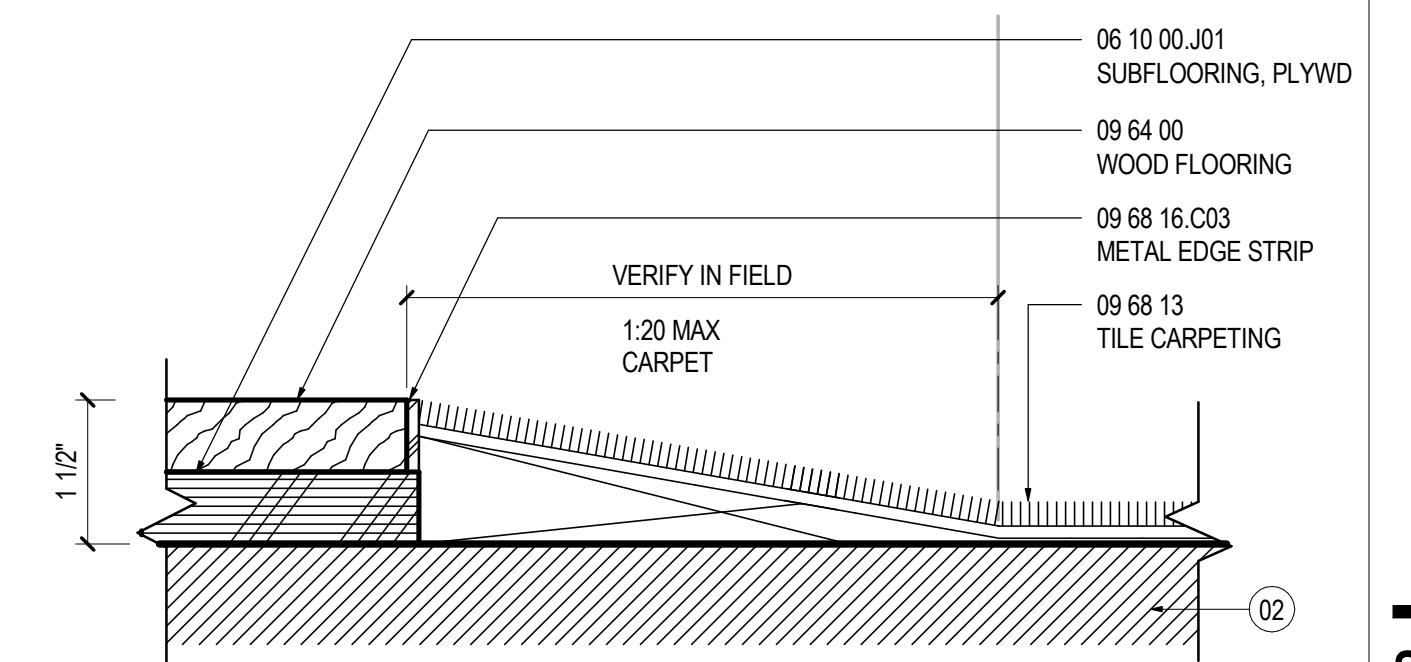
**14 RESILIENT BASE - RESILIENT TILE**  
SCALE: 6" = 1'-0"



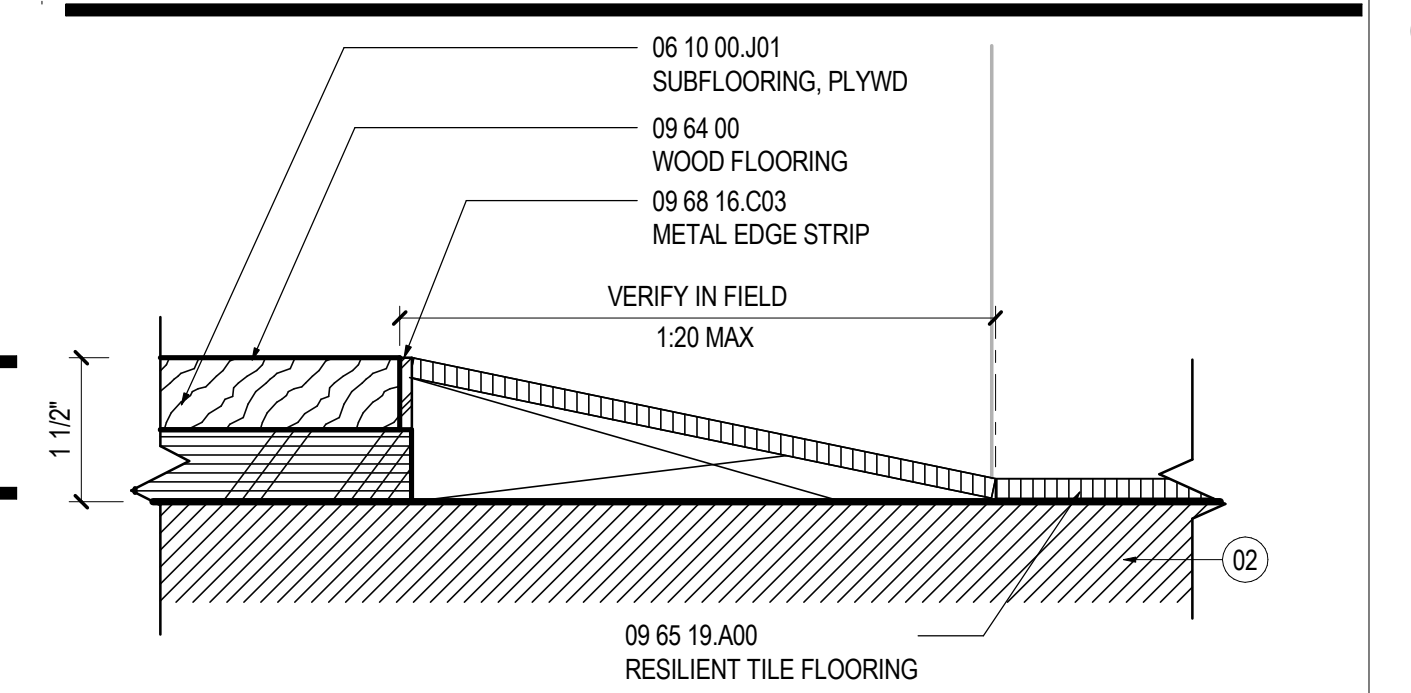
**10 WOOD PLANK TO TERRAZZO**  
SCALE: 6" = 1'-0"



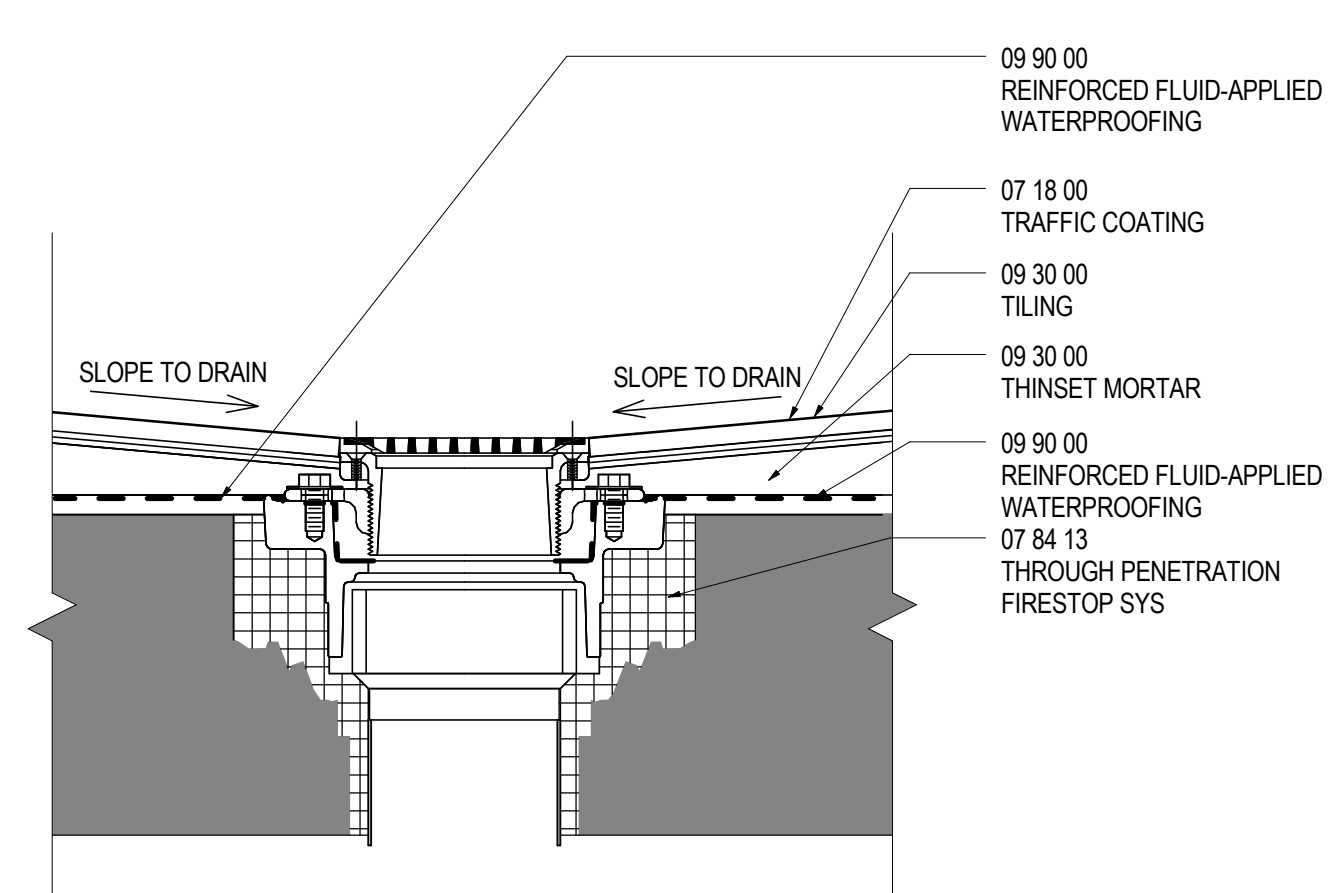
**06 WOOD PLANK TO RESILIENT TILE**  
SCALE: 6" = 1'-0"



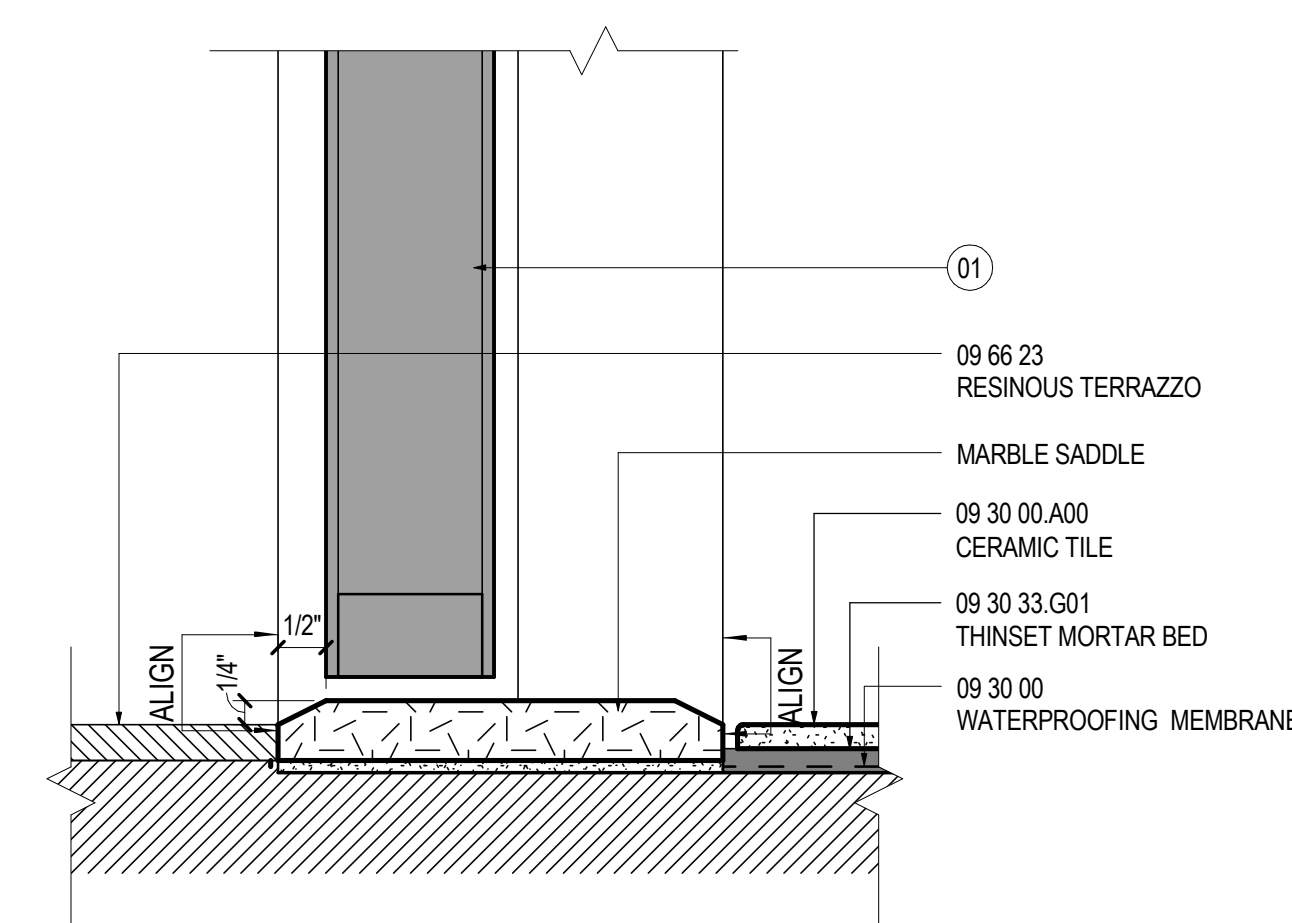
**02 WOOD PLANK TO CARPET**  
SCALE: 6" = 1'-0"



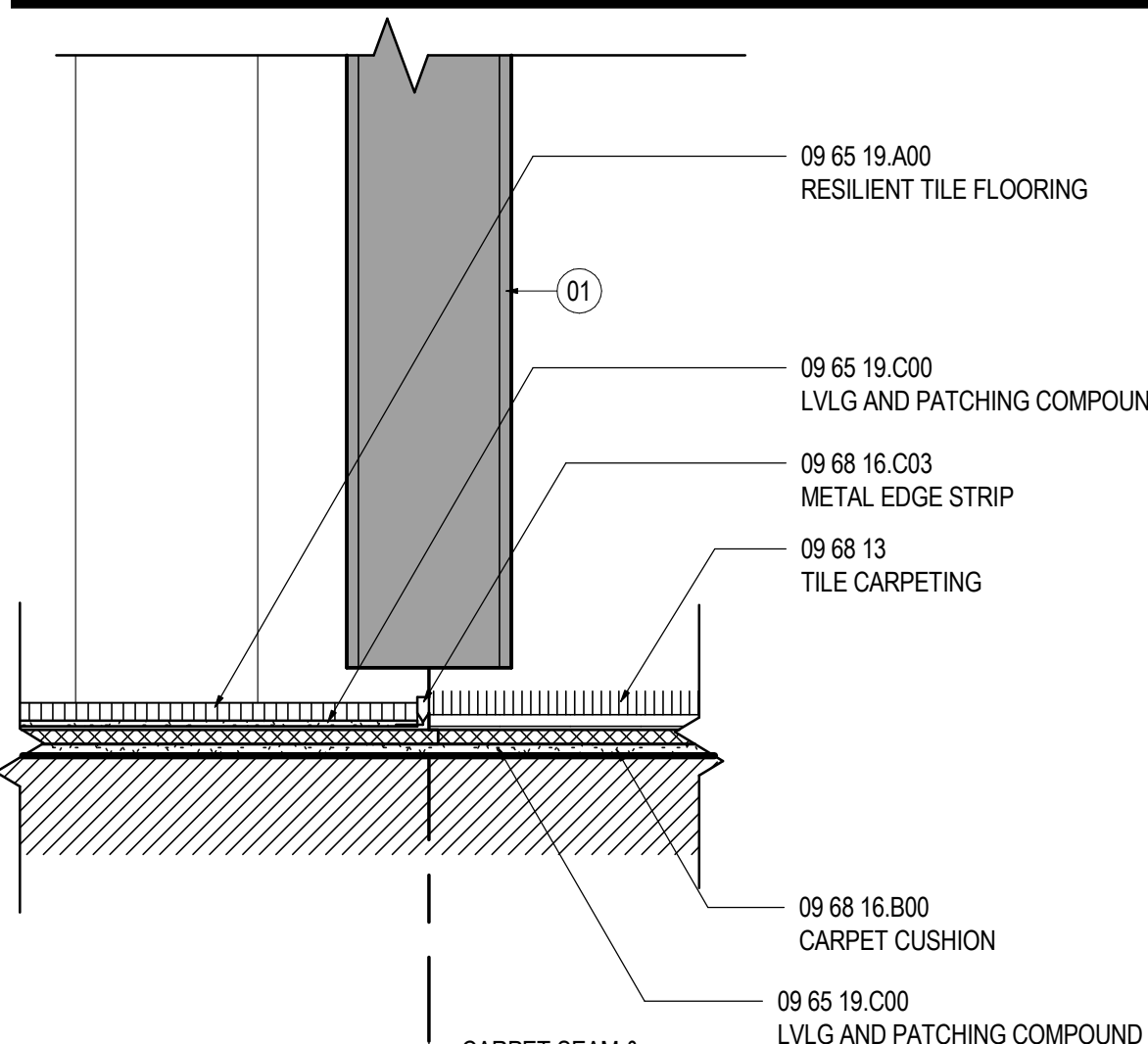
**03 WOOD PLANK TO RESILIENT TILE**  
SCALE: 6" = 1'-0"



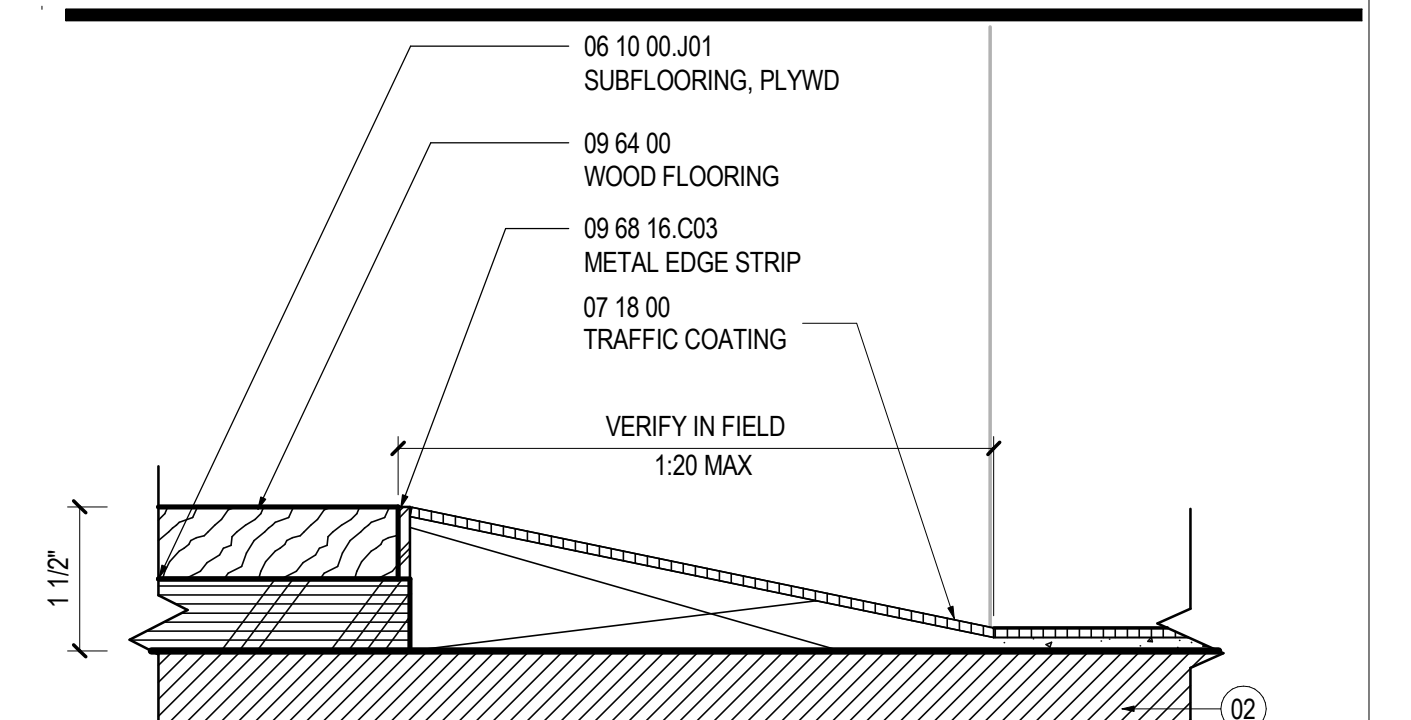
**15 BATHROOM FLOOR DRAIN DETAIL**  
SCALE: 3" = 1'-0"



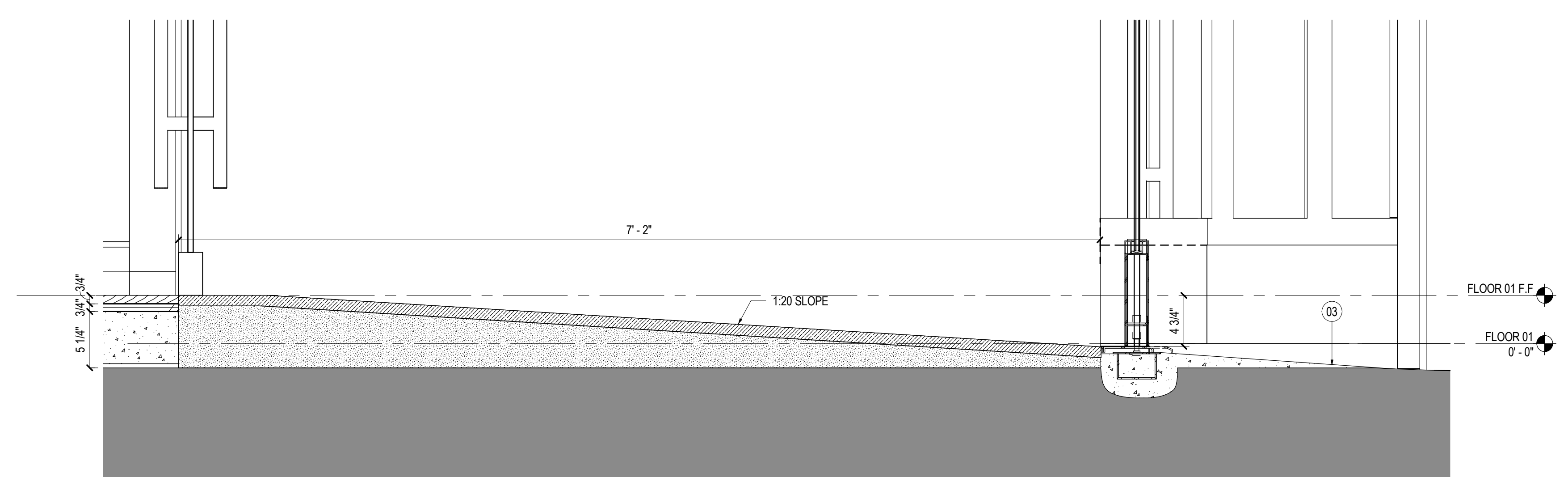
**11 TILE TO TERRAZZO WITH STONE SADDLE**  
SCALE: 6" = 1'-0"



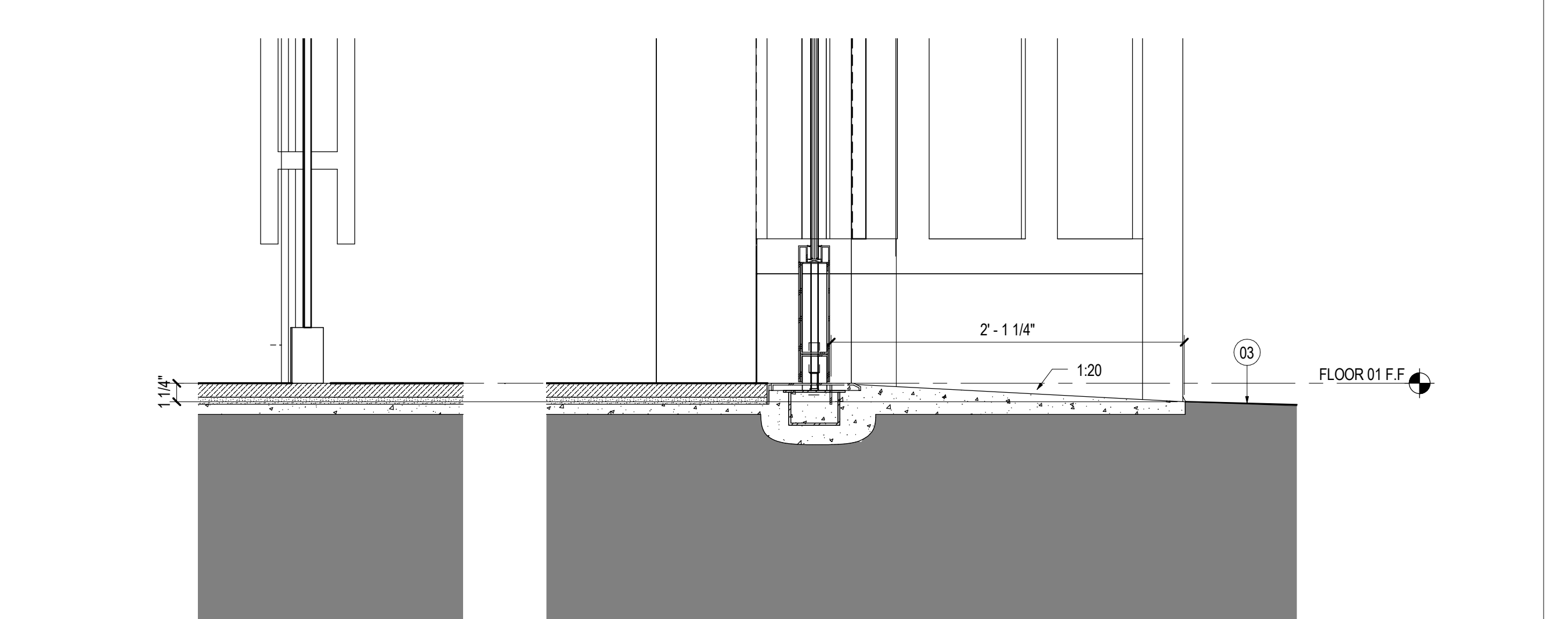
**07 RESILIENT TILE TO CARPET TRANSITION**  
SCALE: 6" = 1'-0"



**04 WOOD PLANK TO CONCRETE**  
SCALE: 6" = 1'-0"



**16 CANAL ENTRY SECTION**  
SCALE: 1 1/2" = 1'-0"



**08 VARICK ENTRY SECTION**  
SCALE: 1 1/2" = 1'-0"

**NOT FOR CONSTRUCTION**

Project Name  
Jackie Robinson Foundation

Project Number  
06.6256.015

Description  
DETAILS - FLOOR TRANSITIONS

Scale  
As indicated

**A-921**

**GENERAL NOTES**

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**SHEET NOTES**

- 01 SCHEDULED PARTITION. REFER TO CONSTRUCTION PLAN.
- 02 SCHEDULED CEILING. REFER TO CEILING PLAN.
- 03 SCHEDULED DOOR. REFER TO DOOR SCHEDULE.
- 04 LINE OF HEADER ABOVE.
- 07 PROVIDE REMOVABLE FRAME TO ALLOW FOR REMOVABLE DOOR.
- 08 JOINT COMPOUND
- 09 PAINT TO MATCH ADJACENT CEILING.
- 10 SCHEDULED FINISH FLOOR. REFER TO FINISH PLAN FOR MORE INFORMATION.

Date	Description
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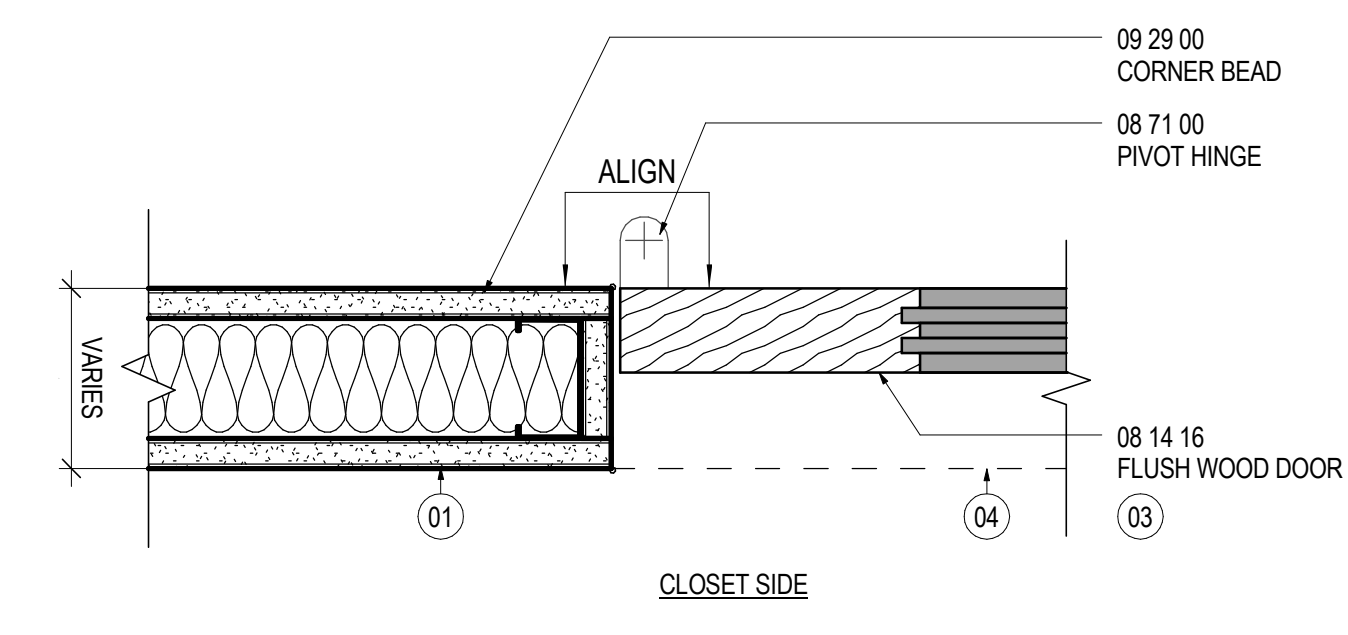
Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

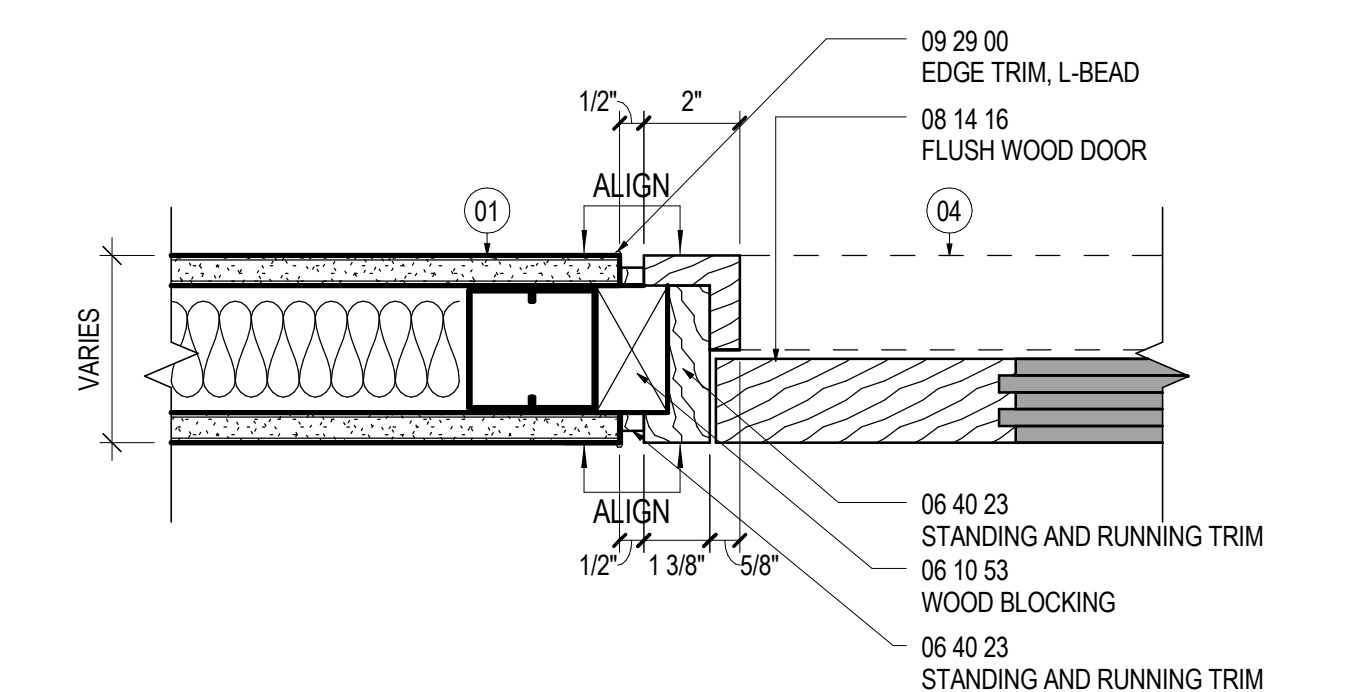
Description  
**DETAILS - DOORS & FRAMES**

Scale  
**3" = 1'-0"**

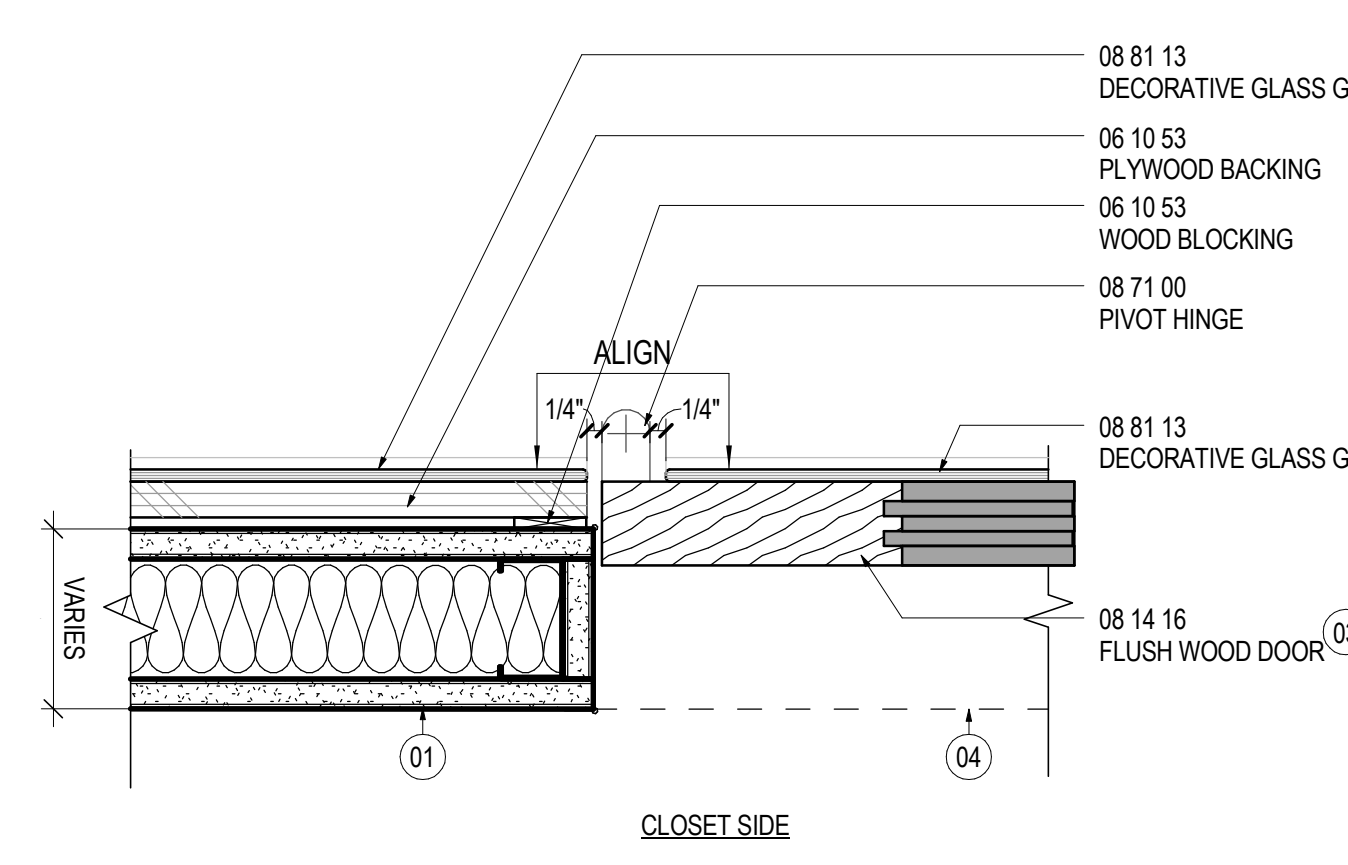
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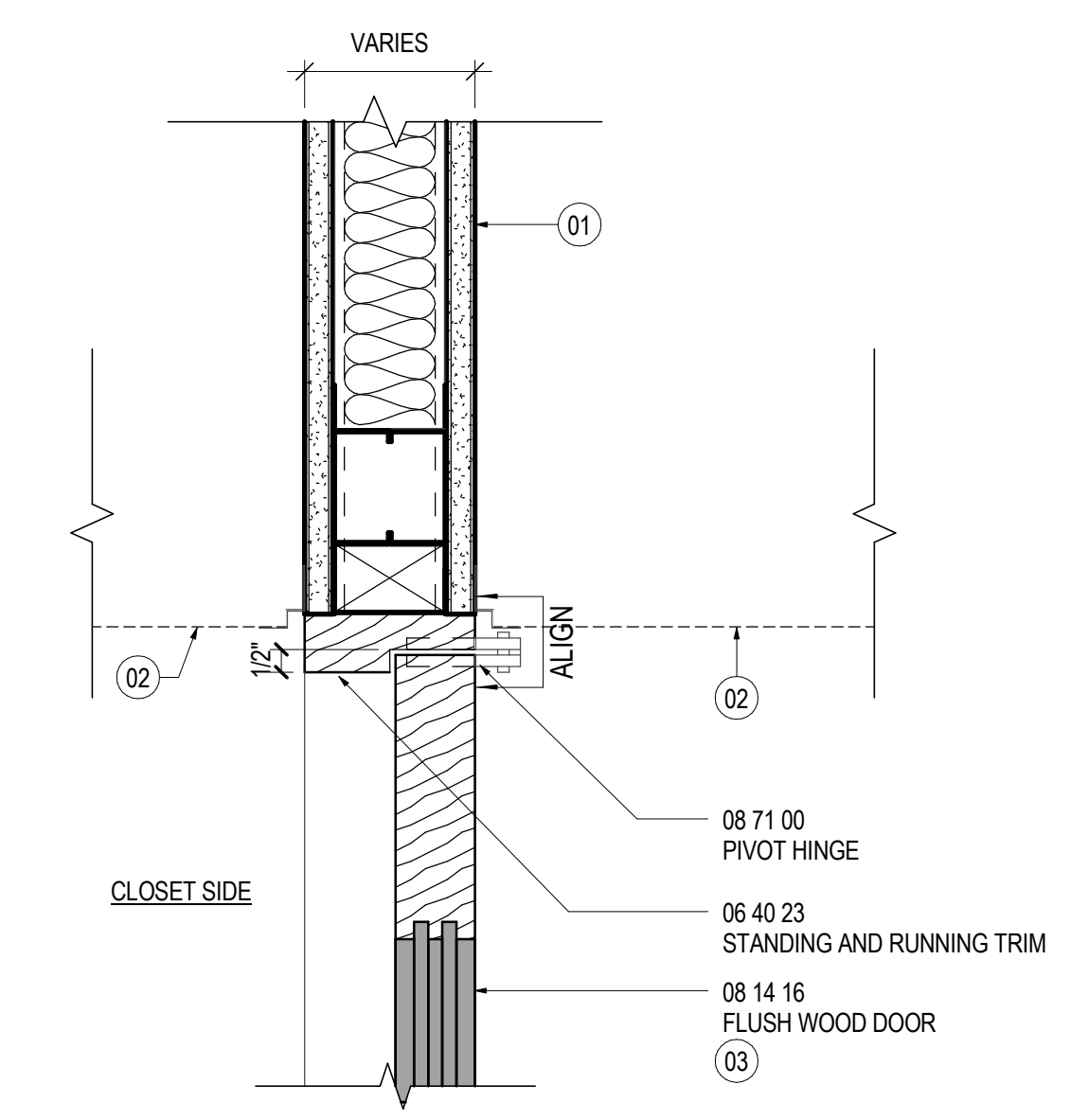
**01 DOOR JAMB AT OFFSET PIVOT HINGE**  
SCALE: 3" = 1'-0"



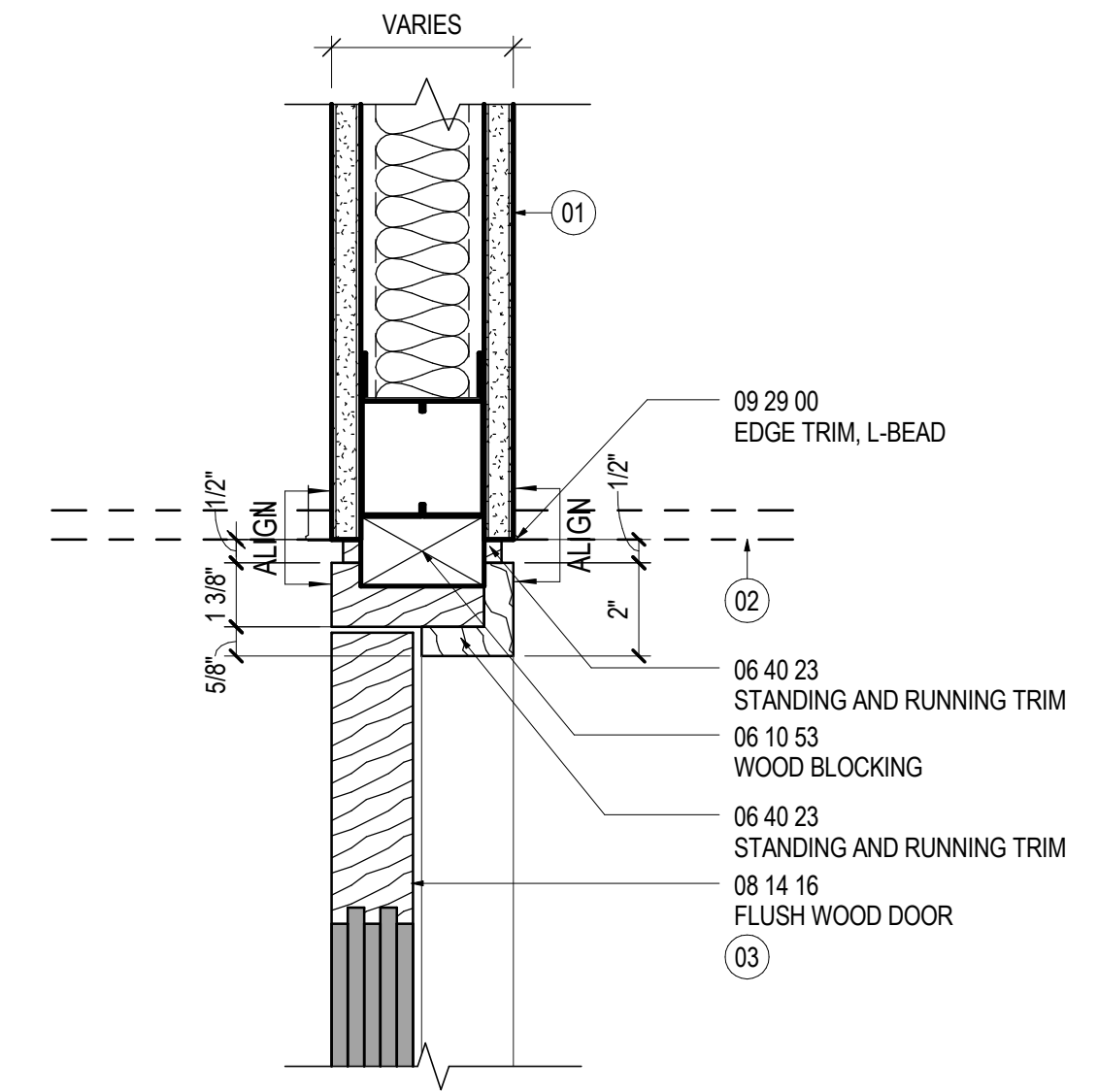
**02 WOOD FRAME JAMB DETAIL**  
SCALE: 3" = 1'-0"



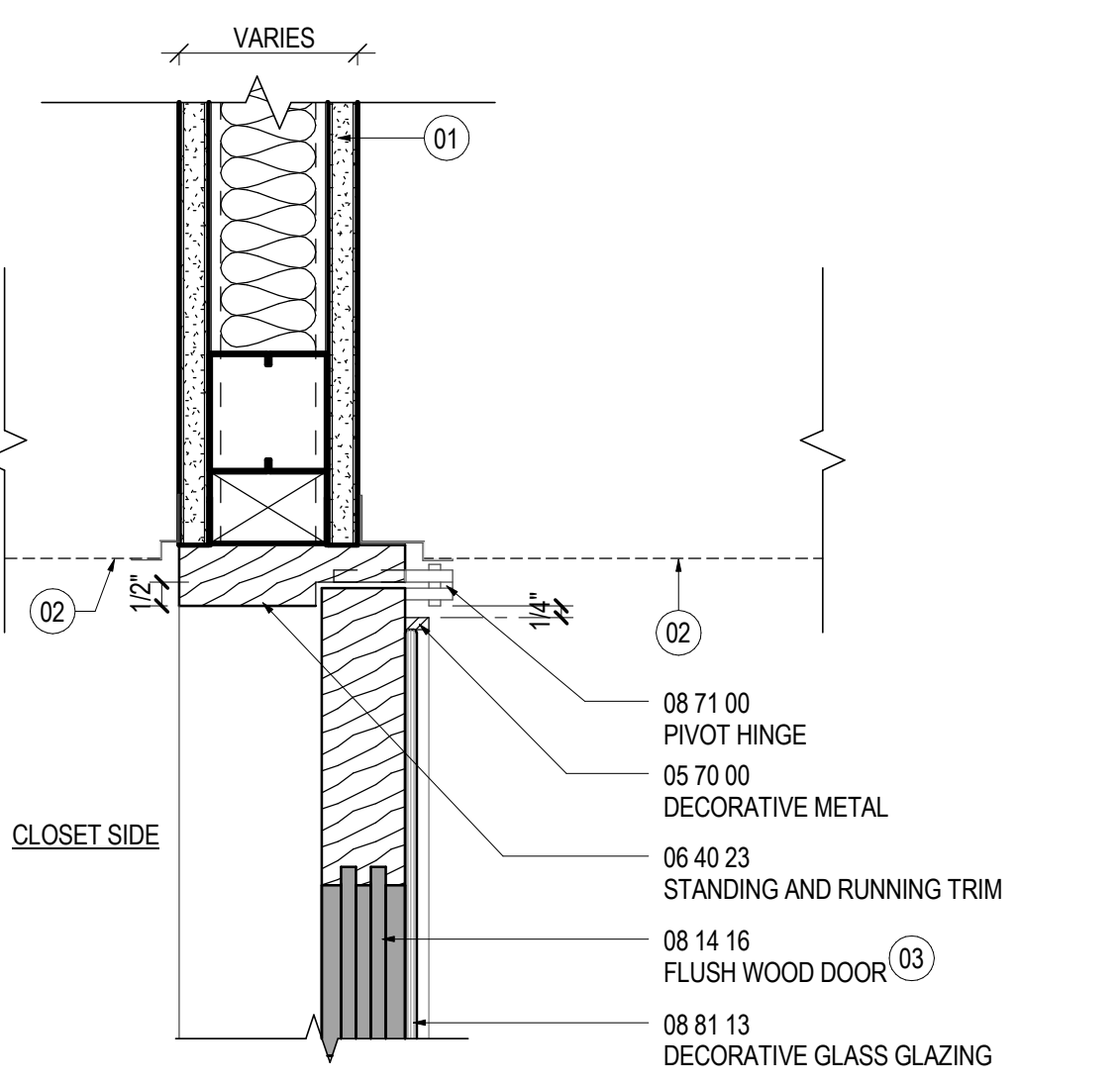
**03 OFFSET PIVOT DOOR JAMB - MARKERBOARD**  
SCALE: 3" = 1'-0"



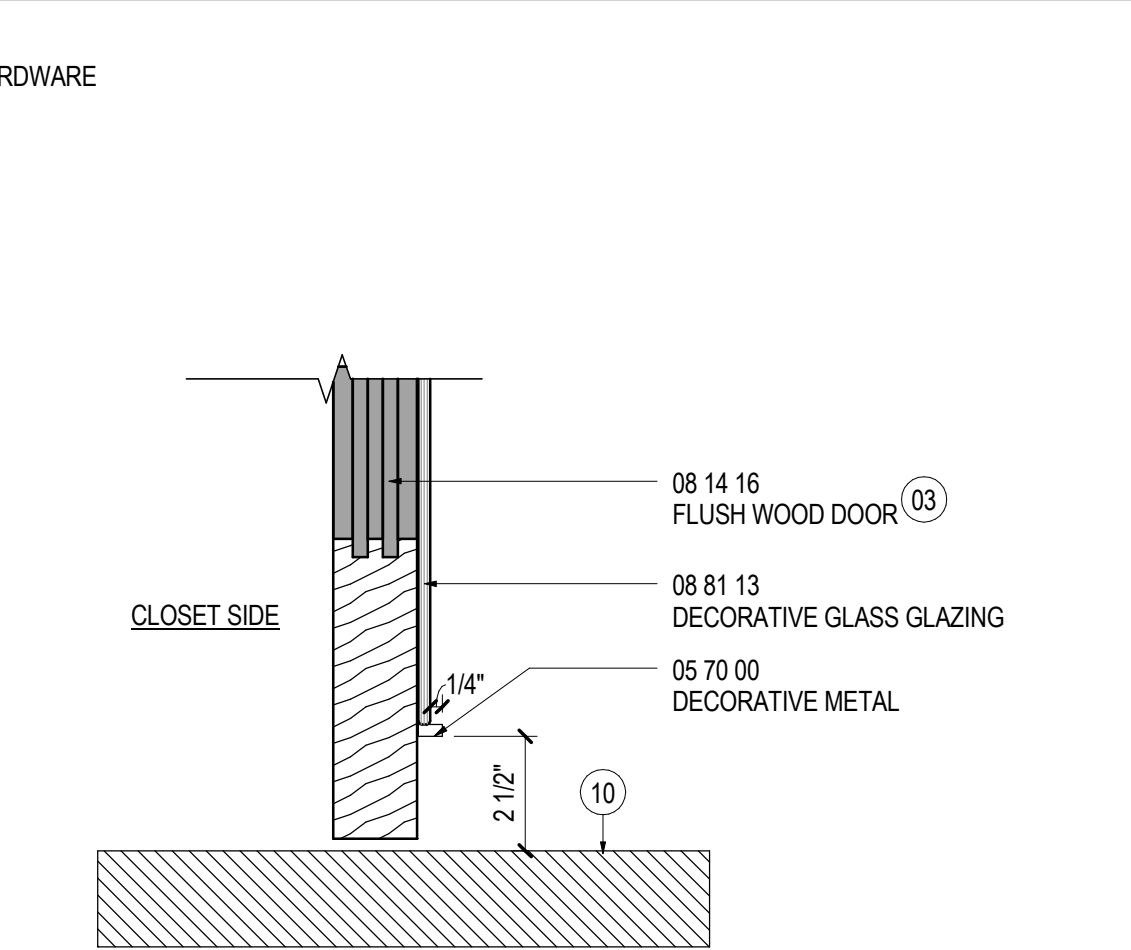
**05 DOOR HEAD AT OFFSET PIVOT HINGE**  
SCALE: 3" = 1'-0"



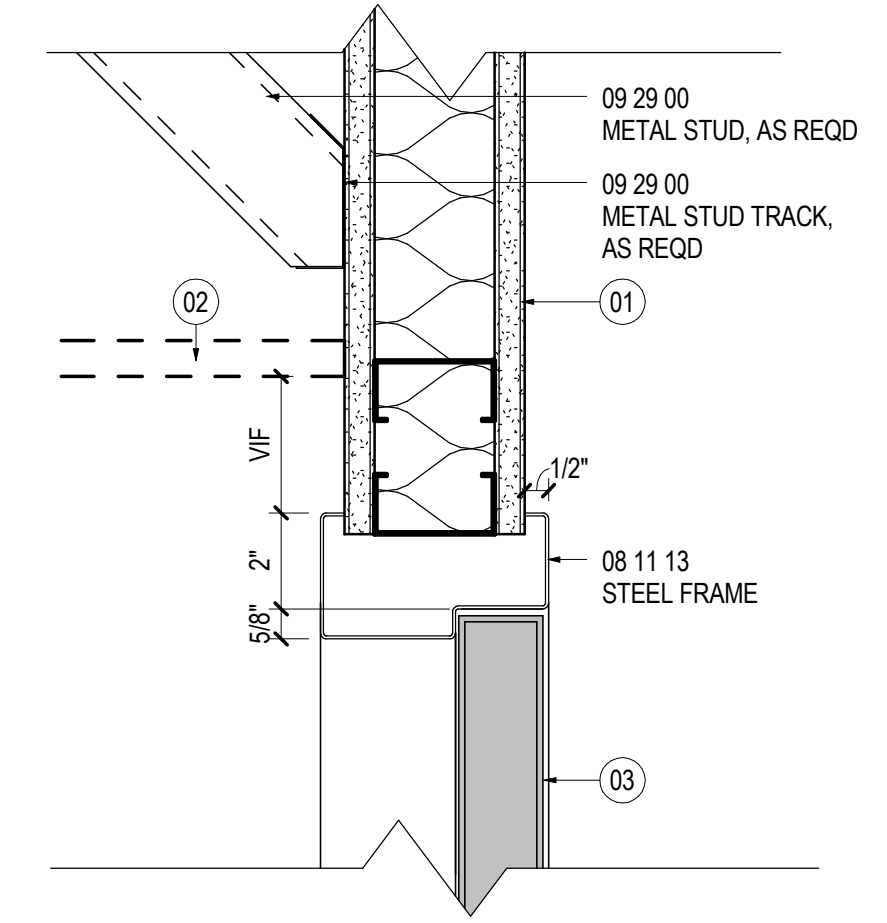
**06 WOOD FRAME HEAD DETAIL**  
SCALE: 3" = 1'-0"



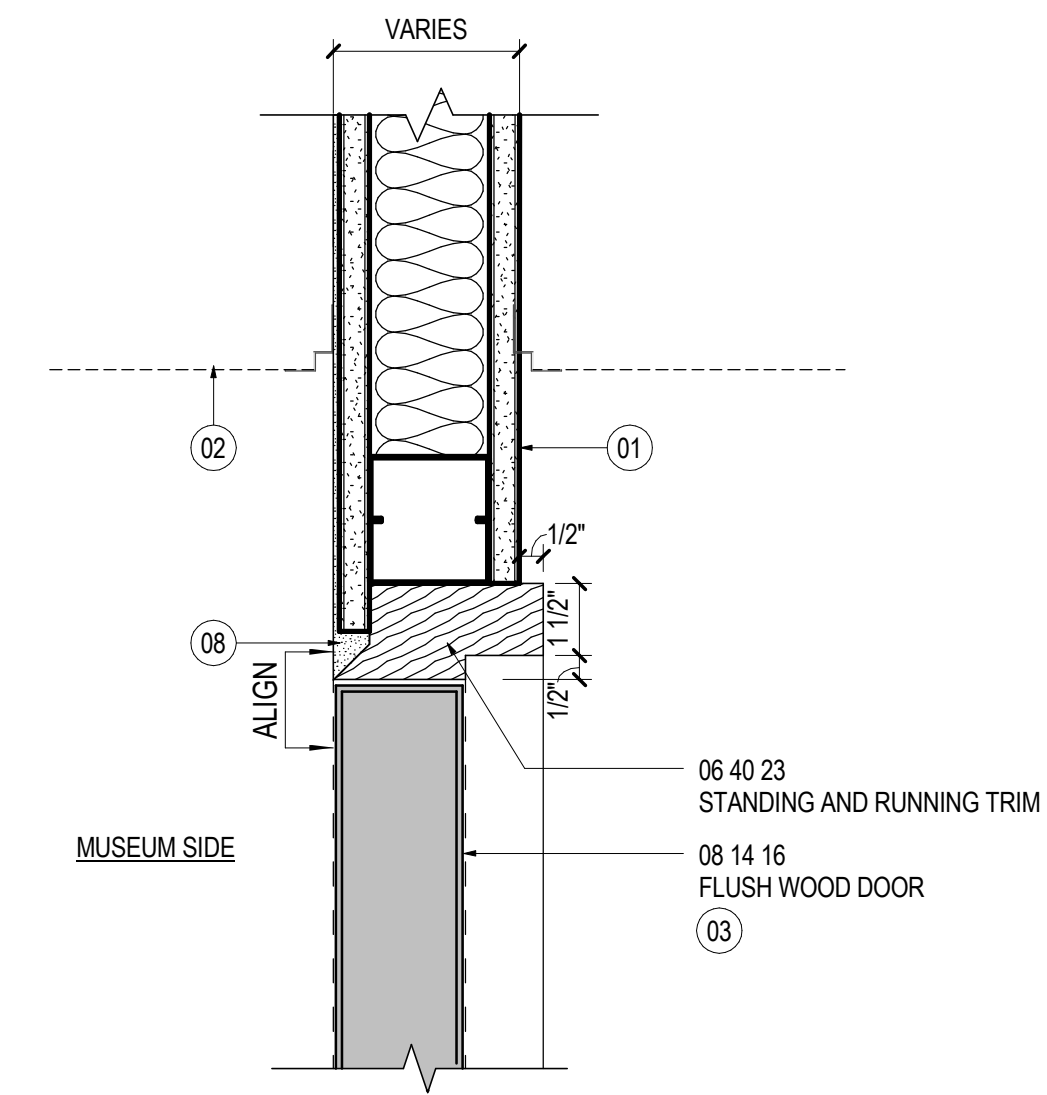
**07 OFFSET PIVOT DOOR HEAD - MARKERBOARD**  
SCALE: 3" = 1'-0"



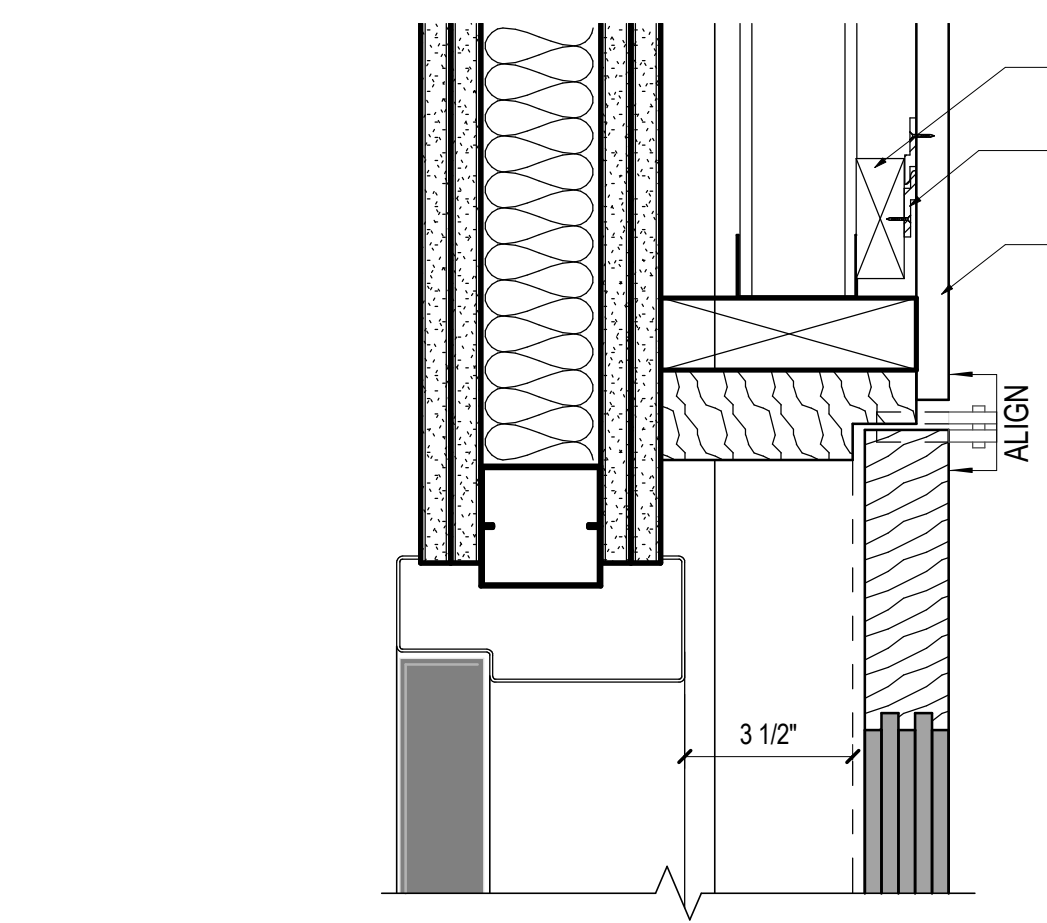
**08 OFFSET PIVOT DOOR SILL - MARKERBOARD**  
SCALE: 3" = 1'-0"



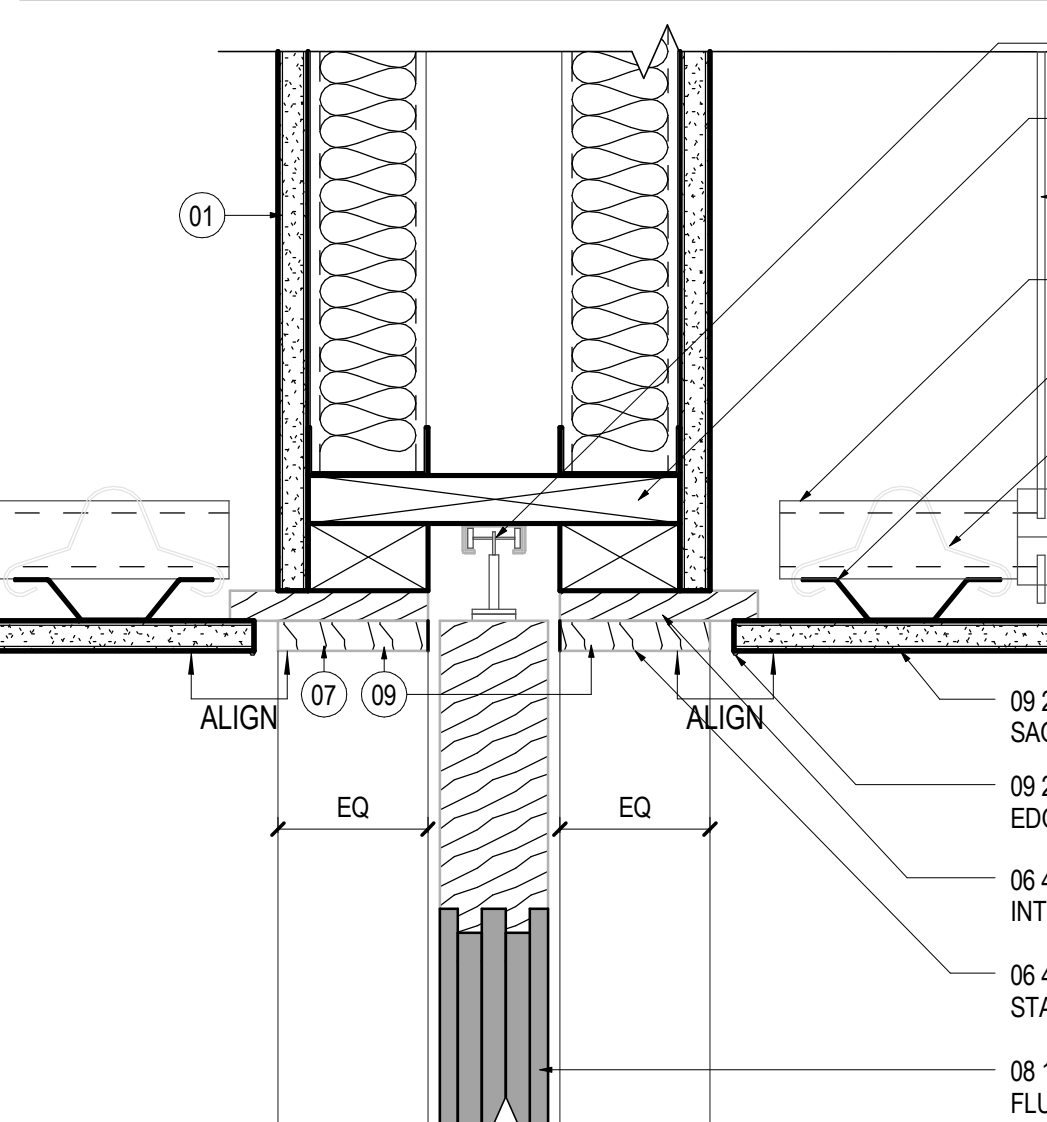
**09 HM FRAME HEAD DETAIL**  
SCALE: 3" = 1'-0"



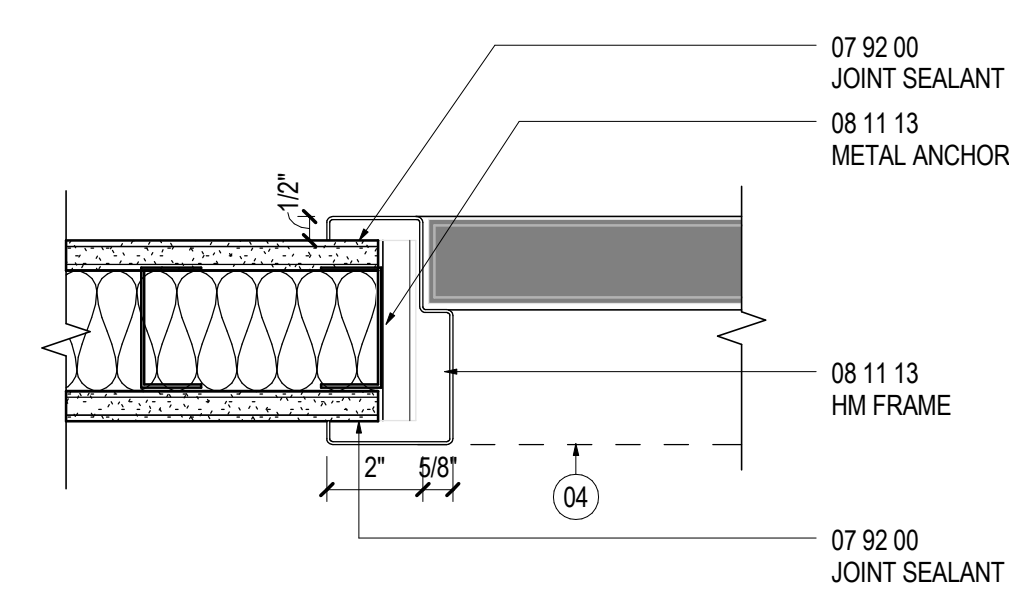
**10 WOOD BLIND DOOR HEAD**  
SCALE: 3" = 1'-0"



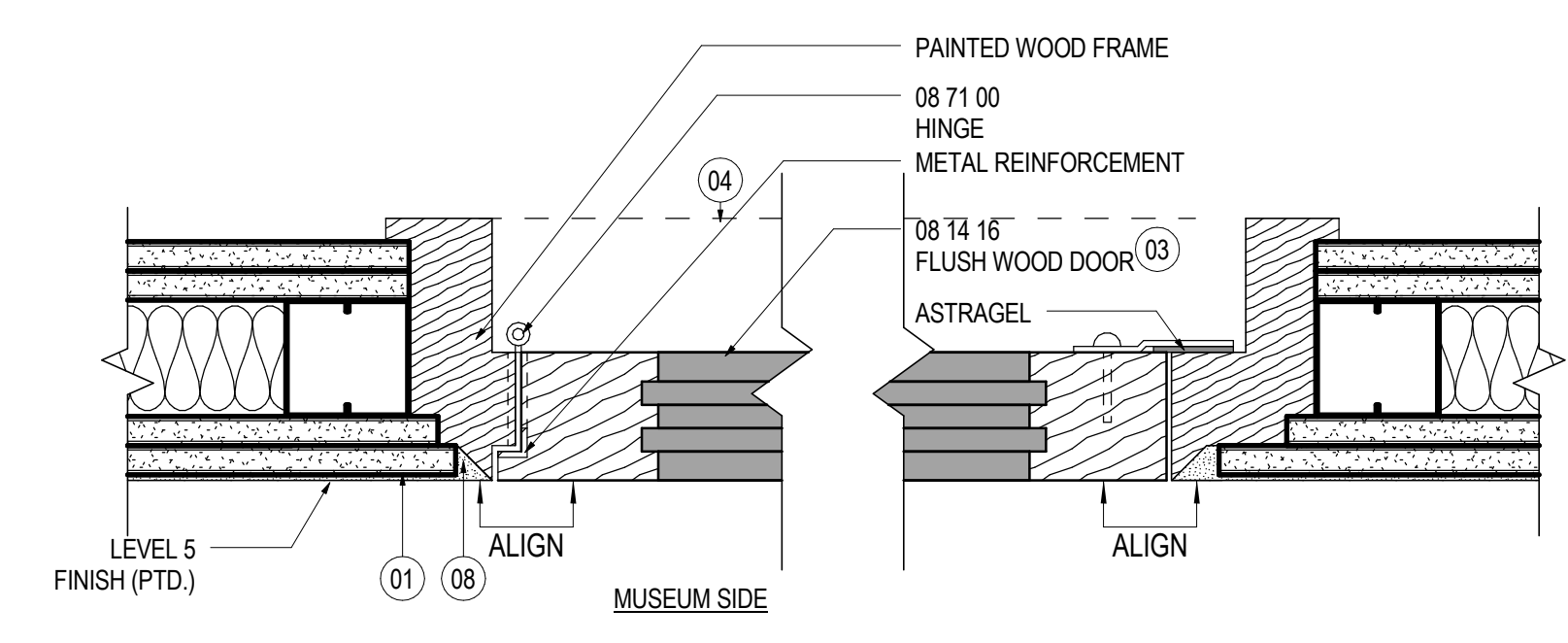
**11 ELEV. MACH. RM DOOR SECTION - ALT.**  
SCALE: 3" = 1'-0"



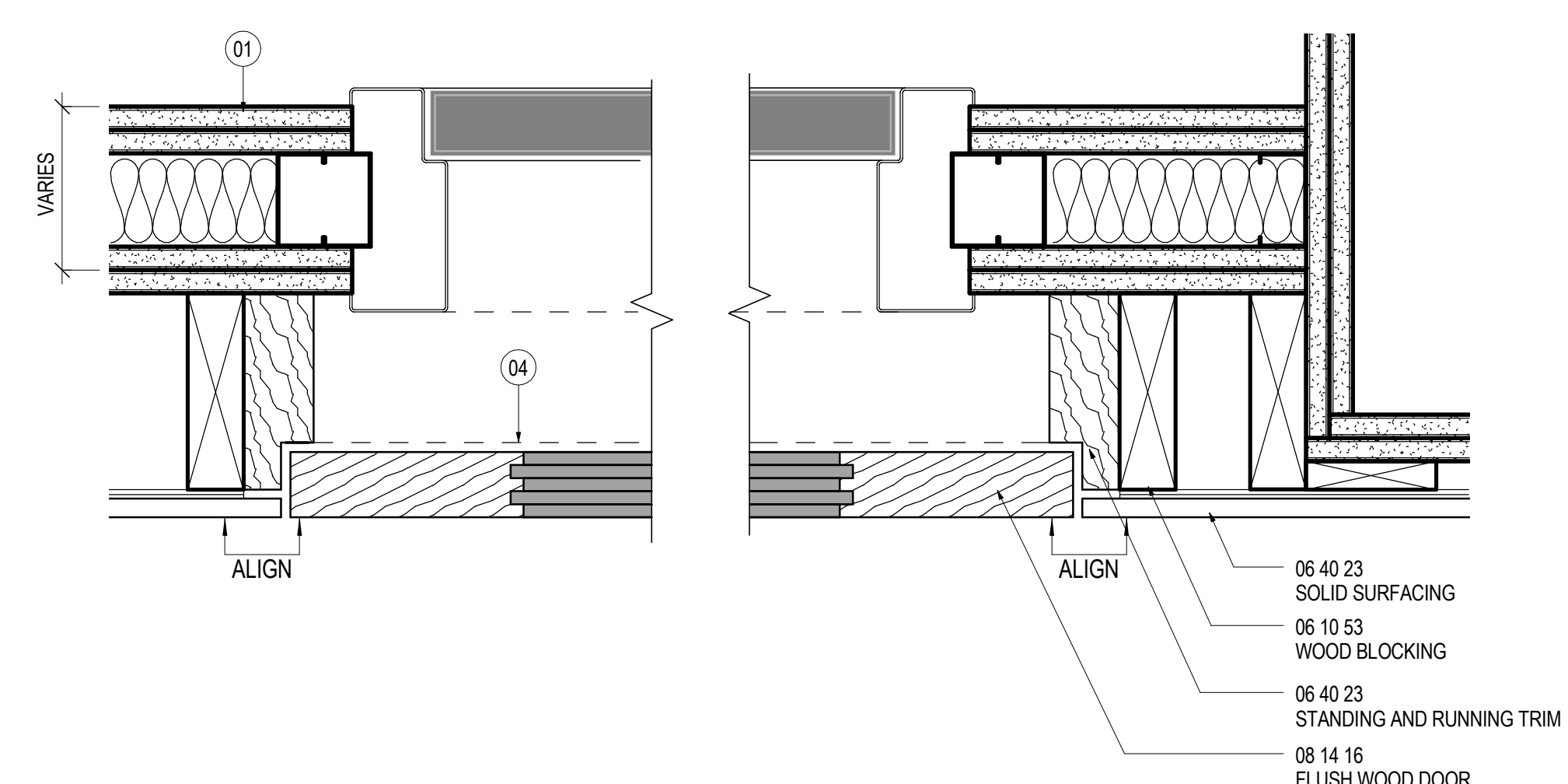
**12 POCKET DOOR HEAD DETAIL**  
SCALE: 3" = 1'-0"



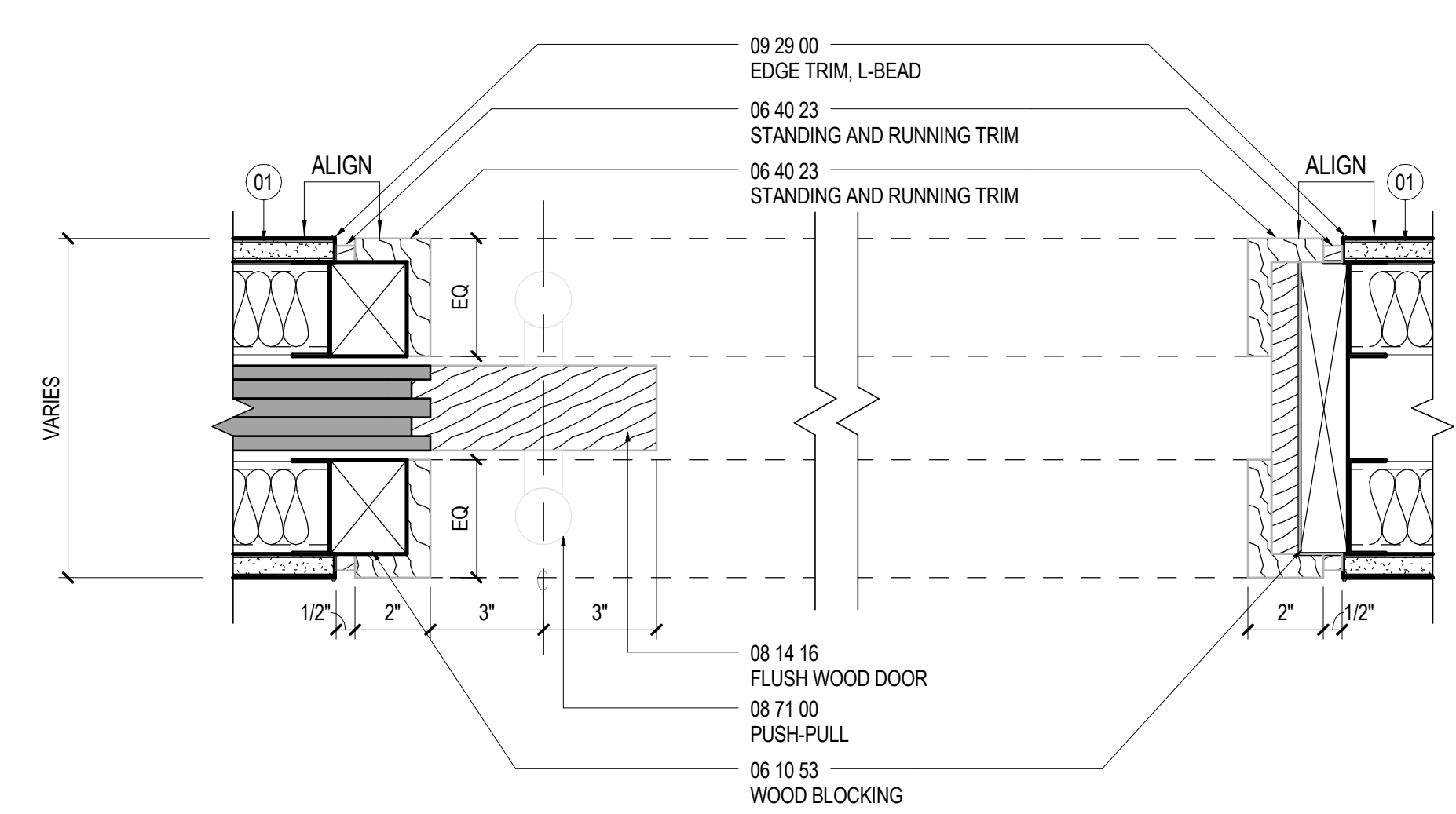
**13 HM FRAME JAMB DETAIL**  
SCALE: 3" = 1'-0"



**14 WOOD BLIND DOOR JAMB**  
SCALE: 3" = 1'-0"



**15 ELEV. MACHINE RM DOOR PLAN DETAIL - ALT.**  
SCALE: 3" = 1'-0"



**16 POCKET DOOR JAMB DETAIL**  
SCALE: 3" = 1'-0"

**GENERAL NOTES**

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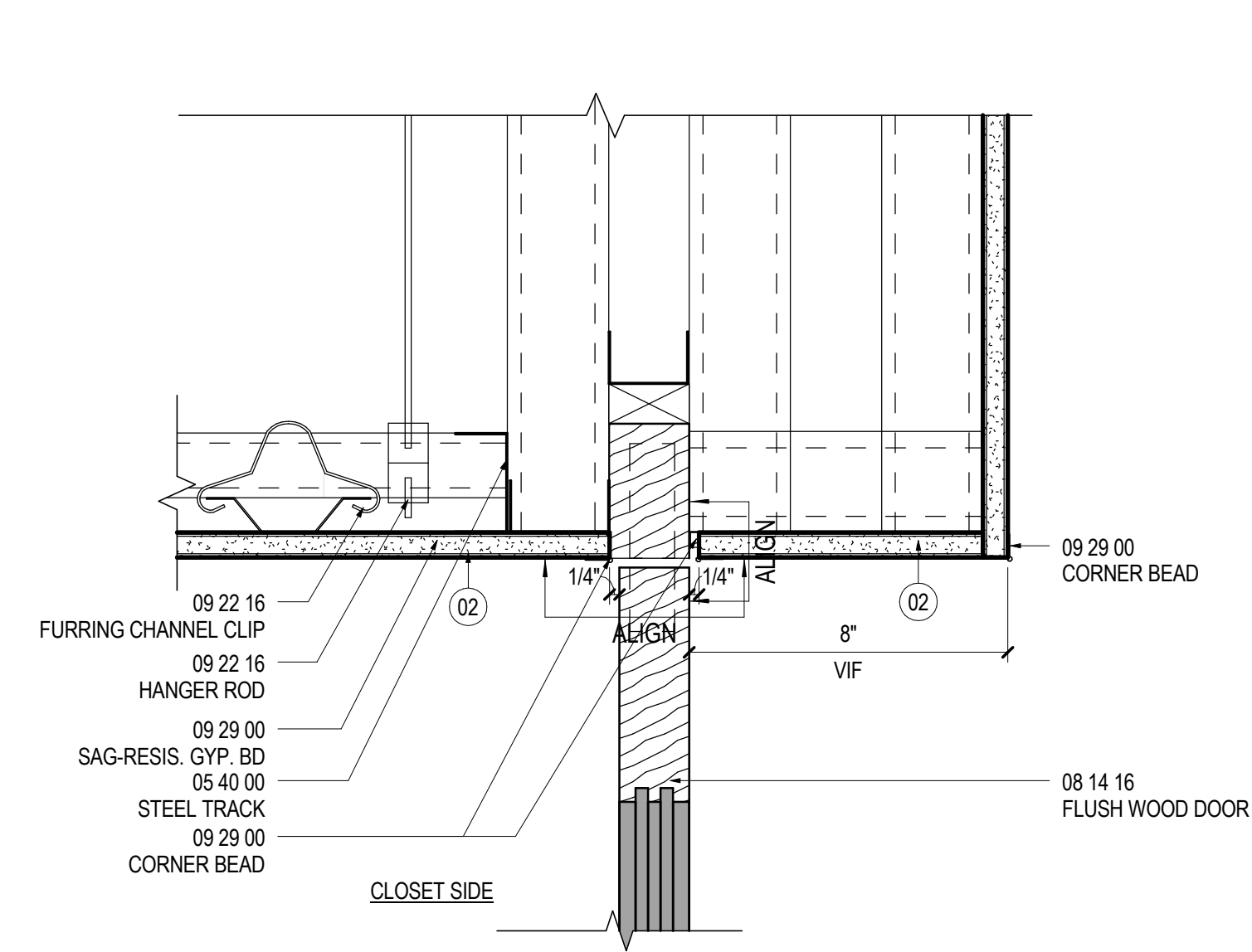
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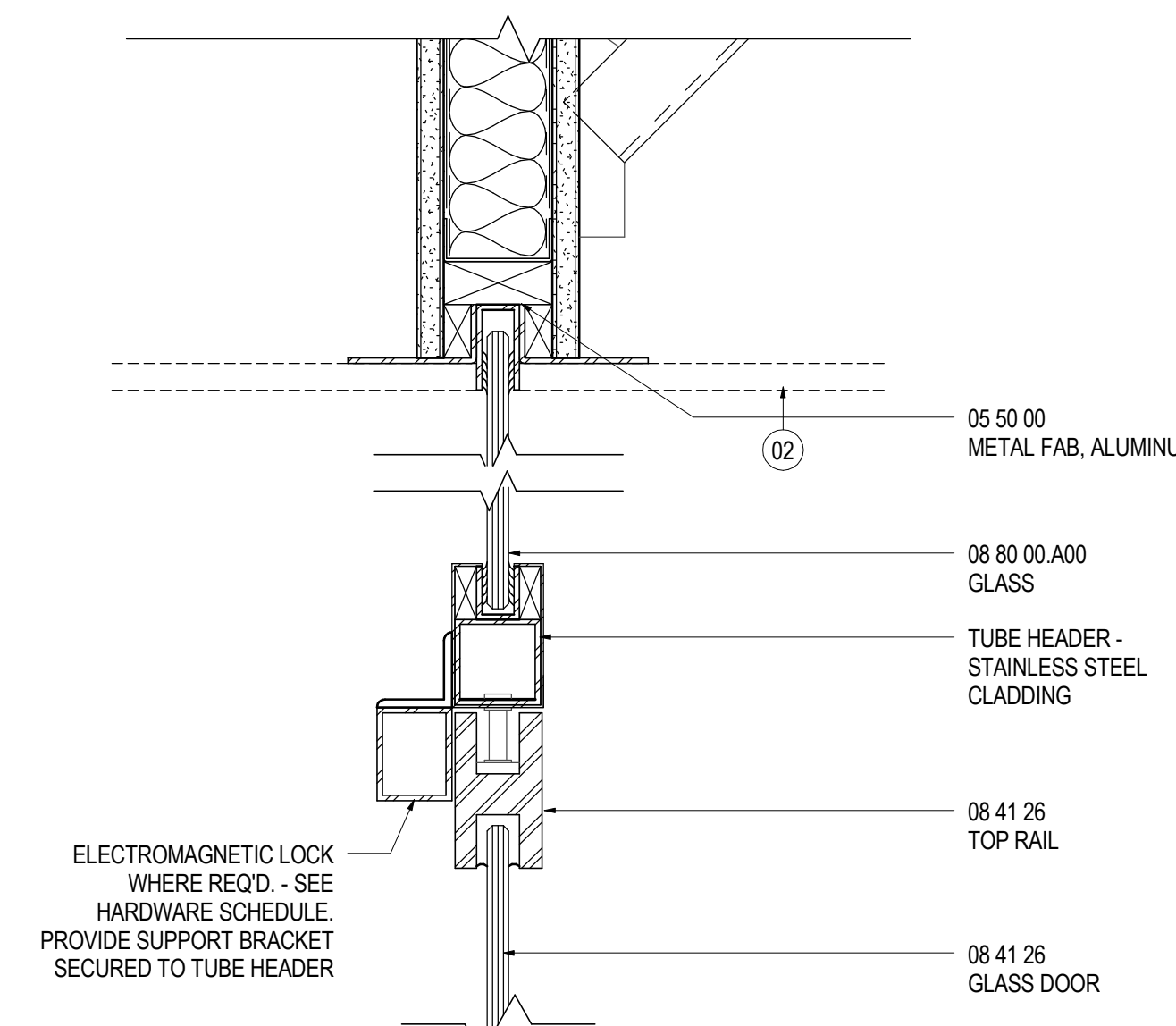
**SHEET NOTES**

- 01 SCHEDULED PARTITION, REFER TO CONSTRUCTION PLAN.
- 02 SCHEDULED CEILING, REFER TO CEILING PLAN.
- 03 SCHEDULED DOOR, REFER TO DOOR SCHEDULE.
- 04 LINE OF HEADER ABOVE.
- 10 SCHEDULED FINISH FLOOR, REFER TO FINISH PLAN FOR MORE INFORMATION.

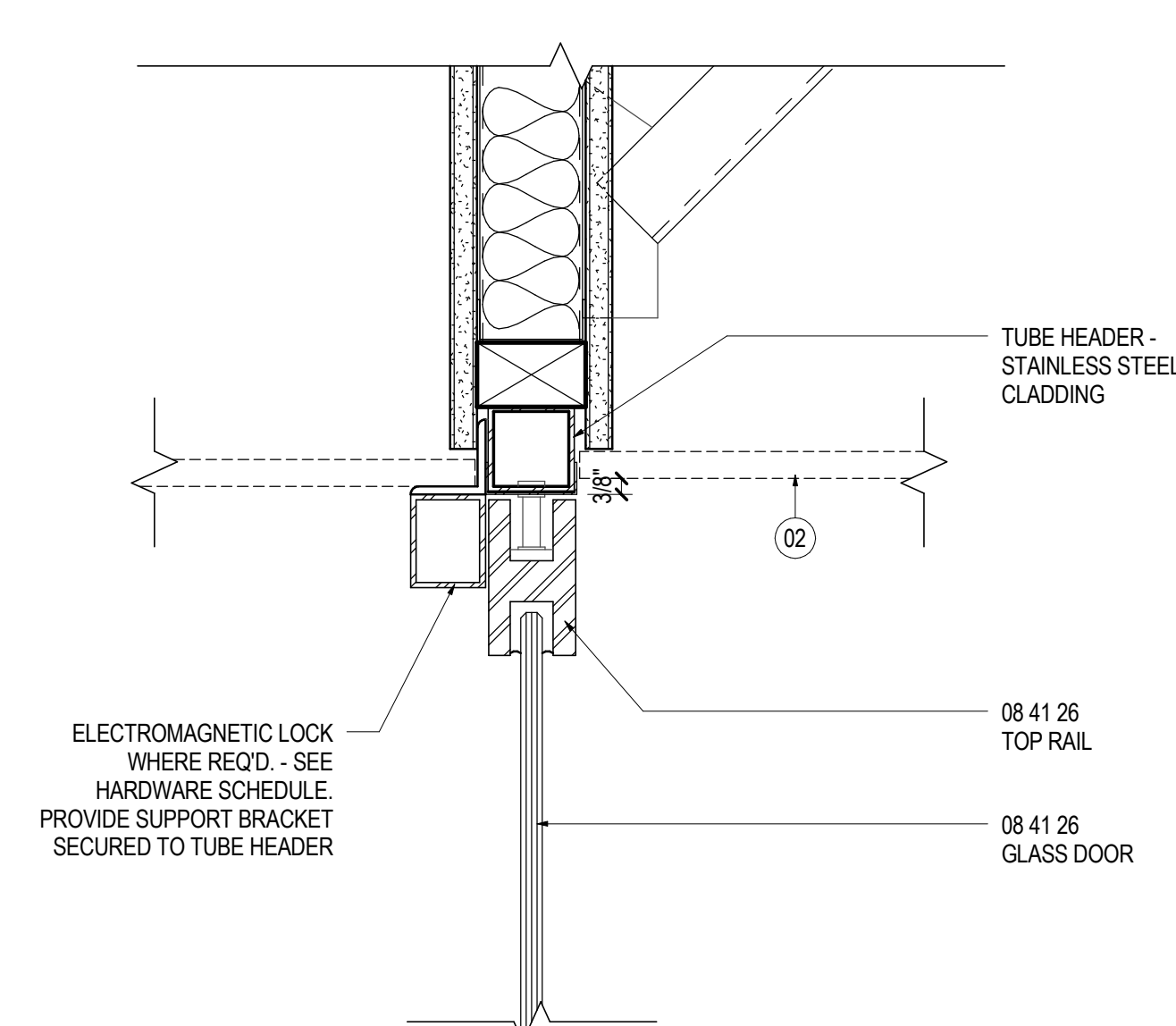
Date	Description
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12/21/2018	ISSUE FOR BID - PHASE 2



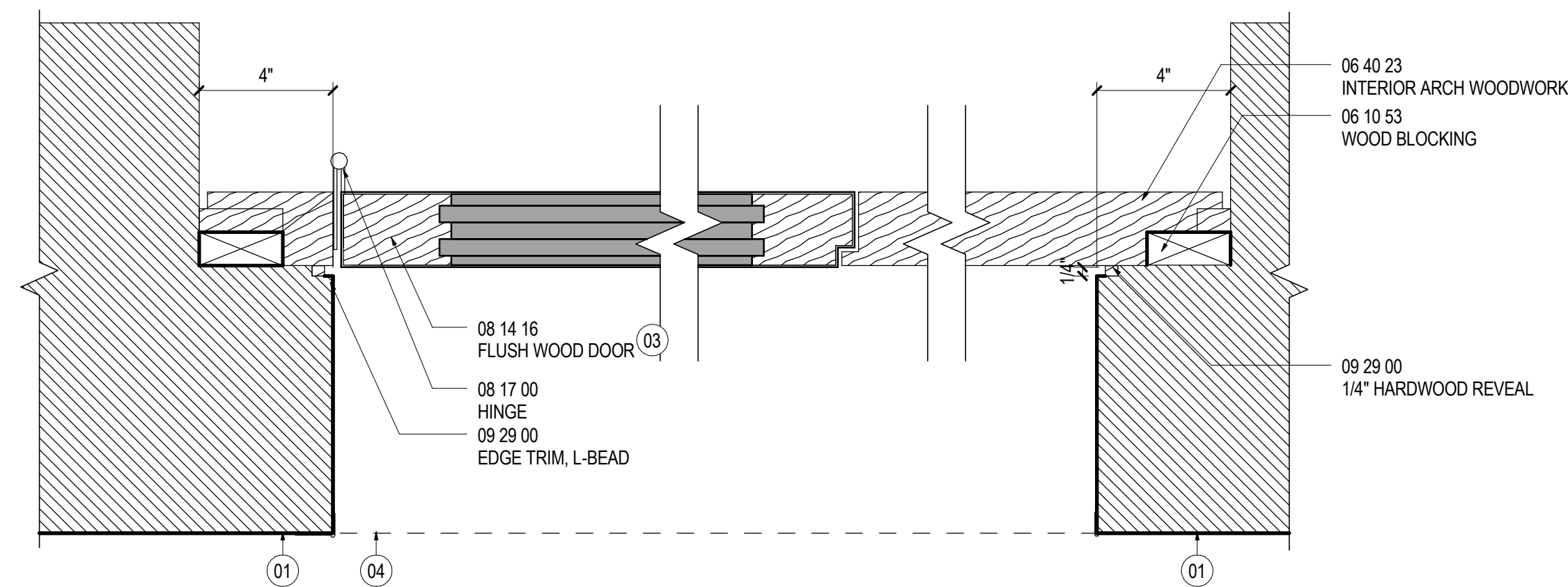
**09 BOH DOOR HEAD AT OFFSET PIVOT HINGE**  
SCALE: 3" = 1'-0"



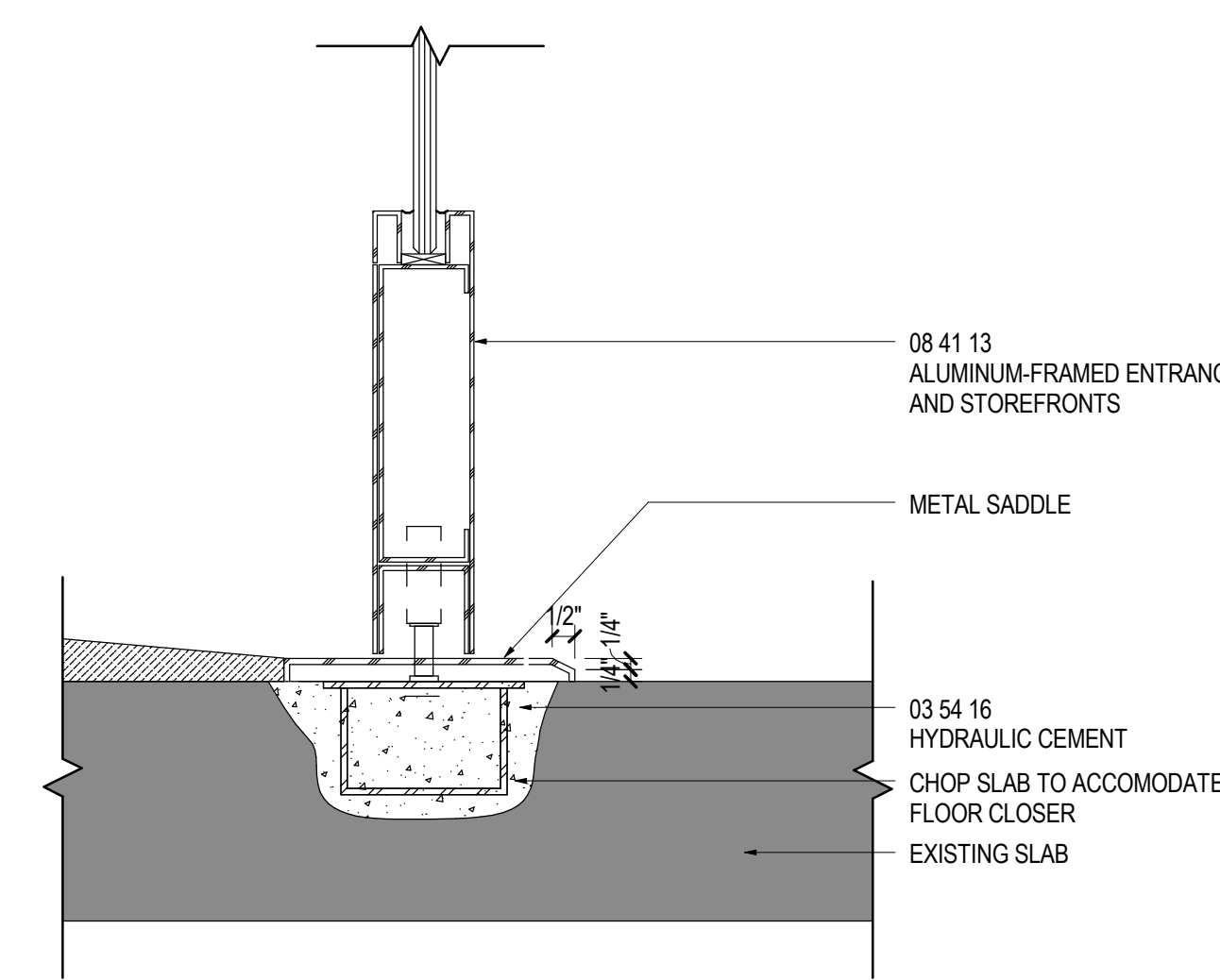
**05 GLASS DOOR HEAD W/ TRANSOM**  
SCALE: 3" = 1'-0"



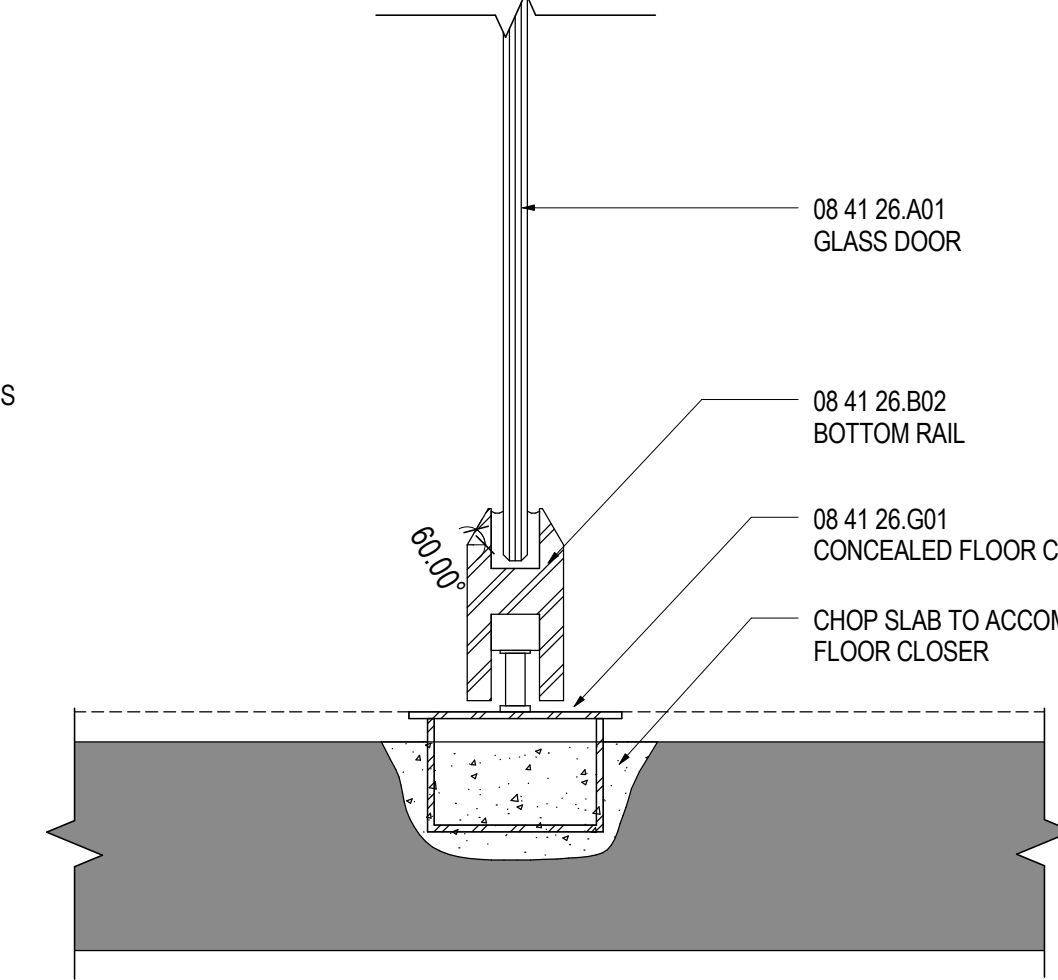
**01 GLASS DOOR HEAD**  
SCALE: 3" = 1'-0"



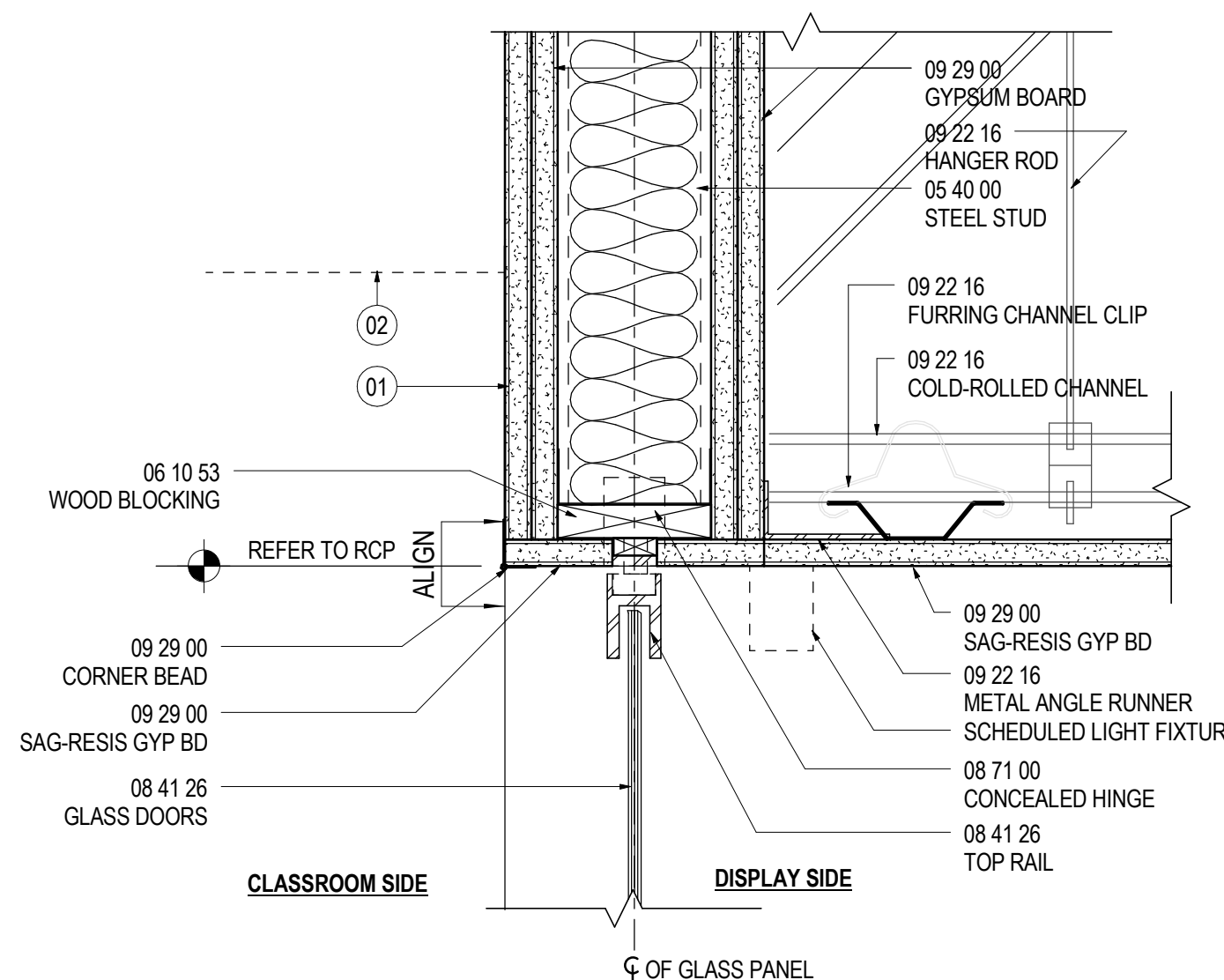
**14 BOH DOOR JAMB AT OFFSET PIVOT HINGE**  
SCALE: 3" = 1'-0"



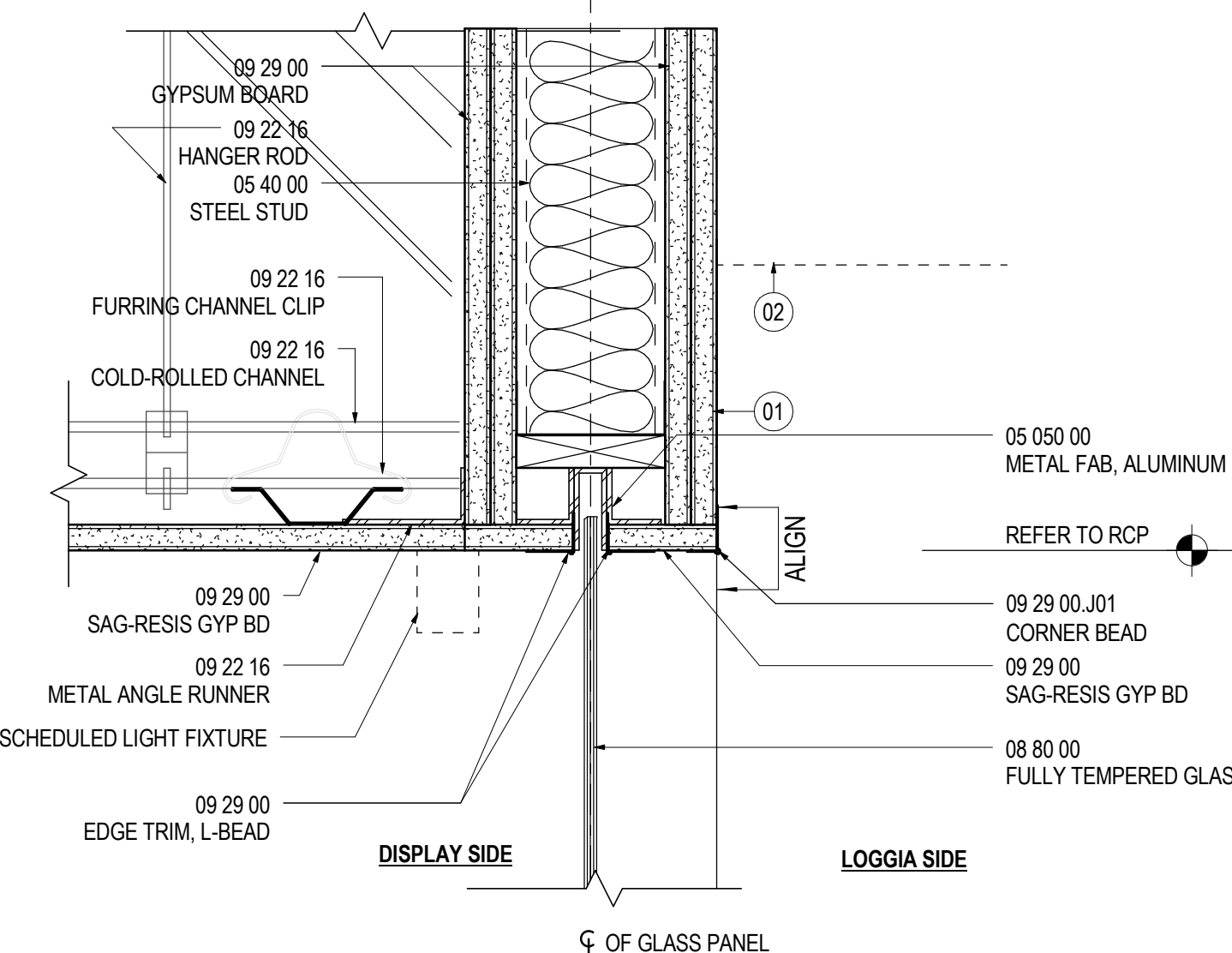
**06 EXTERIOR STOREFRONT SILL DETAIL**  
SCALE: 3" = 1'-0"



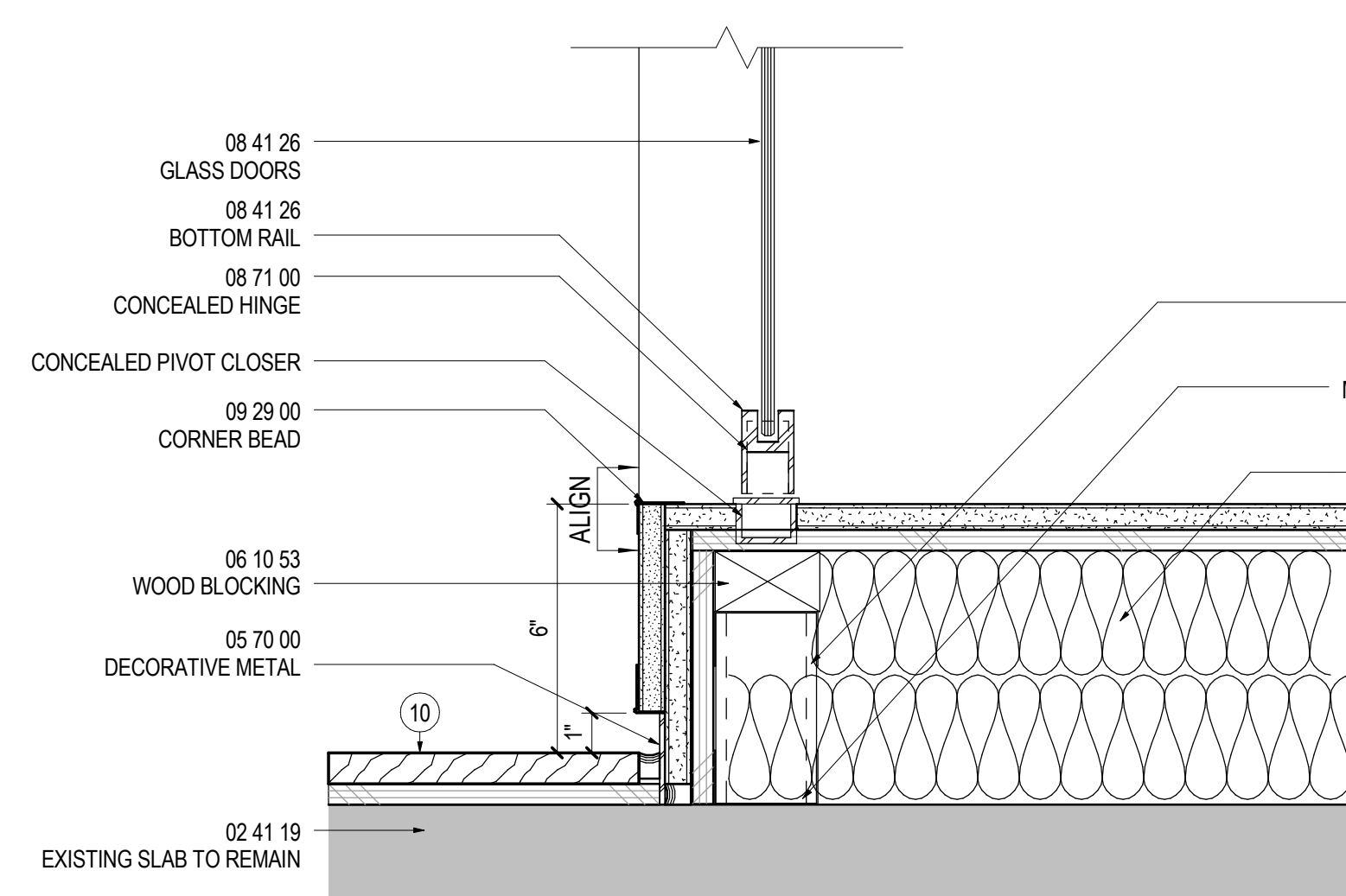
**02 GLASS DOOR SILL**  
SCALE: 3" = 1'-0"



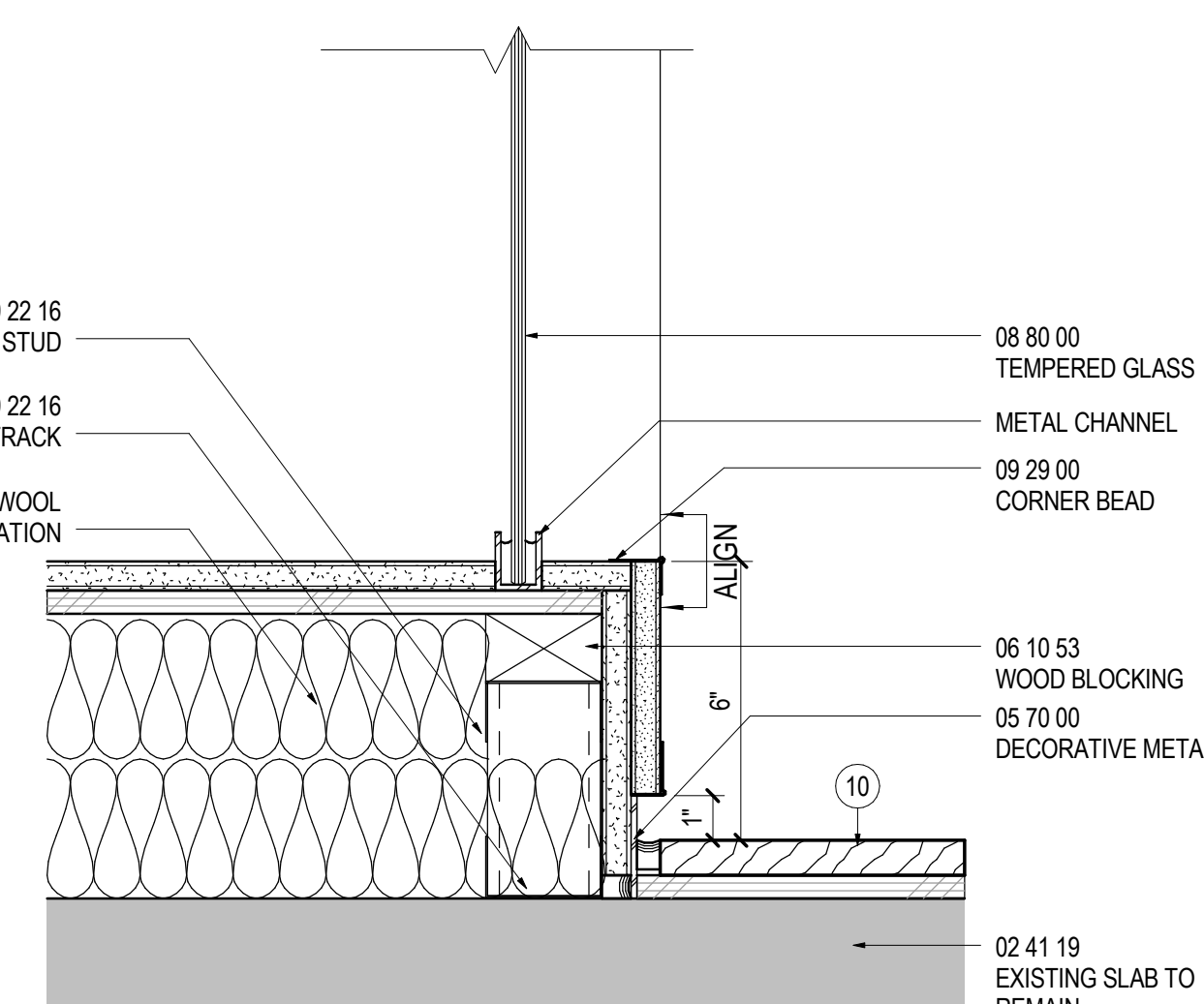
**07 DISPLAY GLASS DOOR HEAD DETAIL**  
SCALE: 3" = 1'-0"



**03 DISPLAY GLASS HEAD DETAIL**  
SCALE: 3" = 1'-0"



**08 DISPLAY GLASS DOOR SILL DETAIL**  
SCALE: 3" = 1'-0"



**04 DISPLAY GLASS SILL DETAIL**  
SCALE: 3" = 1'-0"

**NOT FOR CONSTRUCTION**

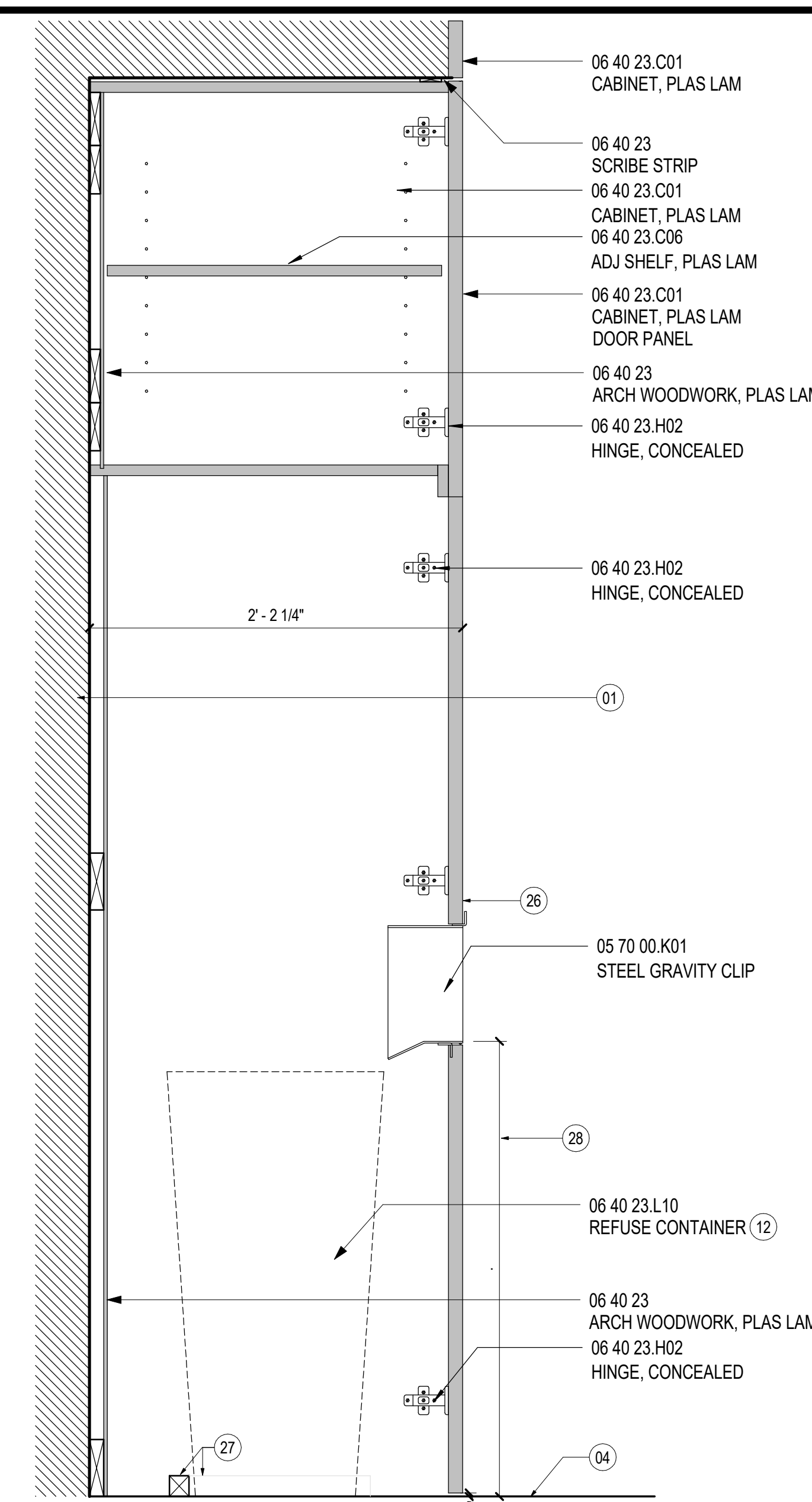
Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

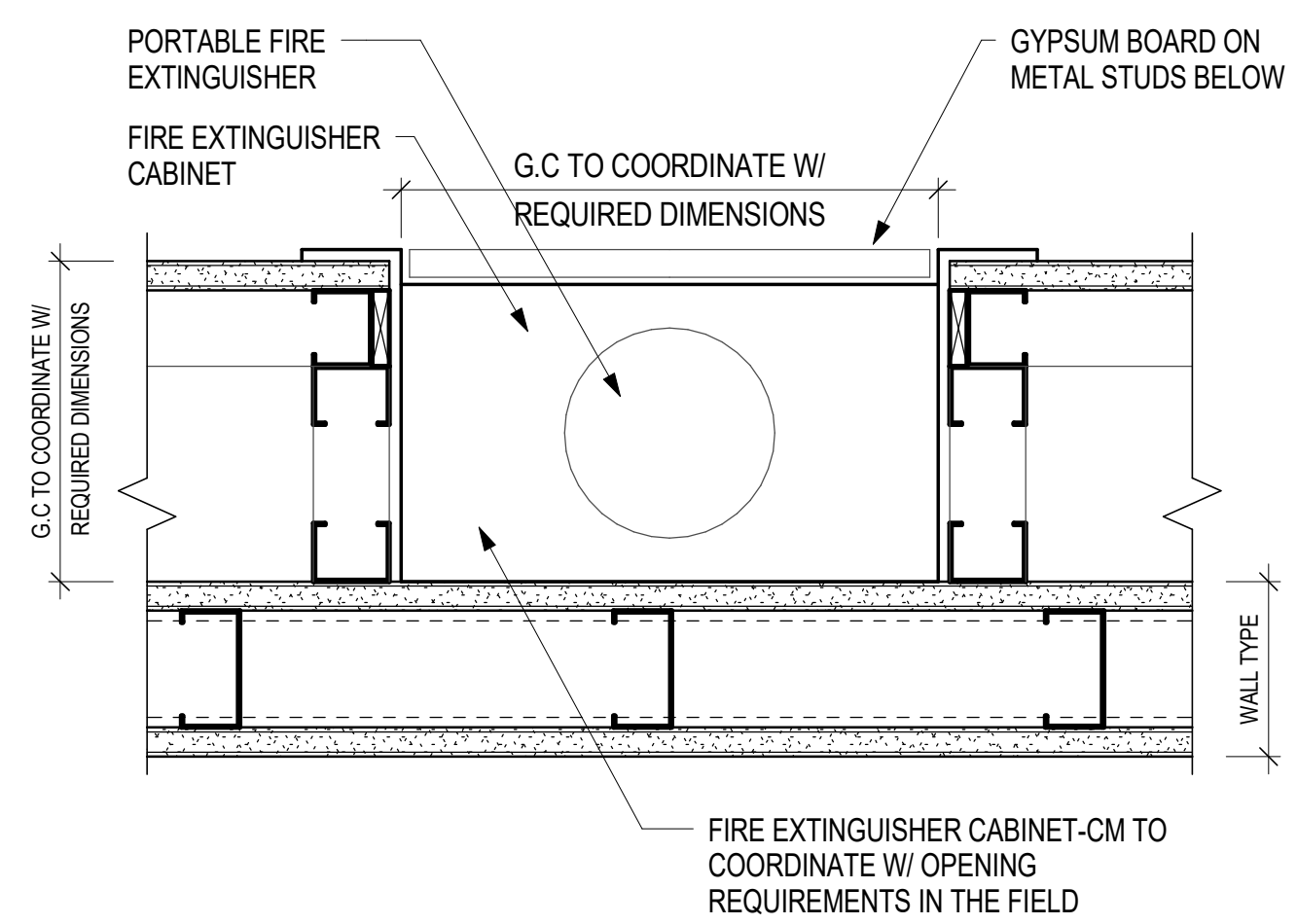
Description  
**DETAILS - DOORS & FRAMES**

Scale  
**3" = 1'-0"**

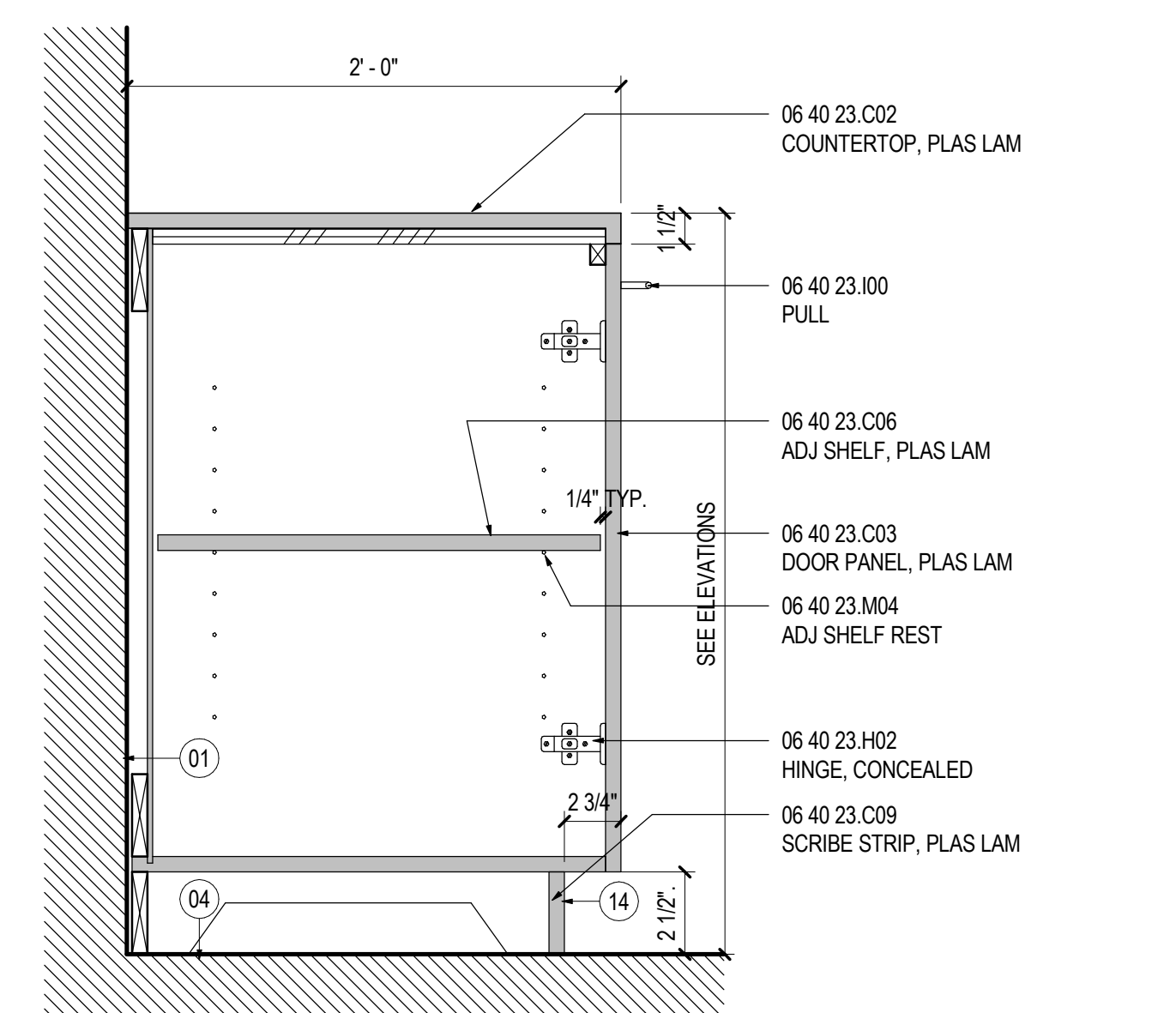
**A-942**



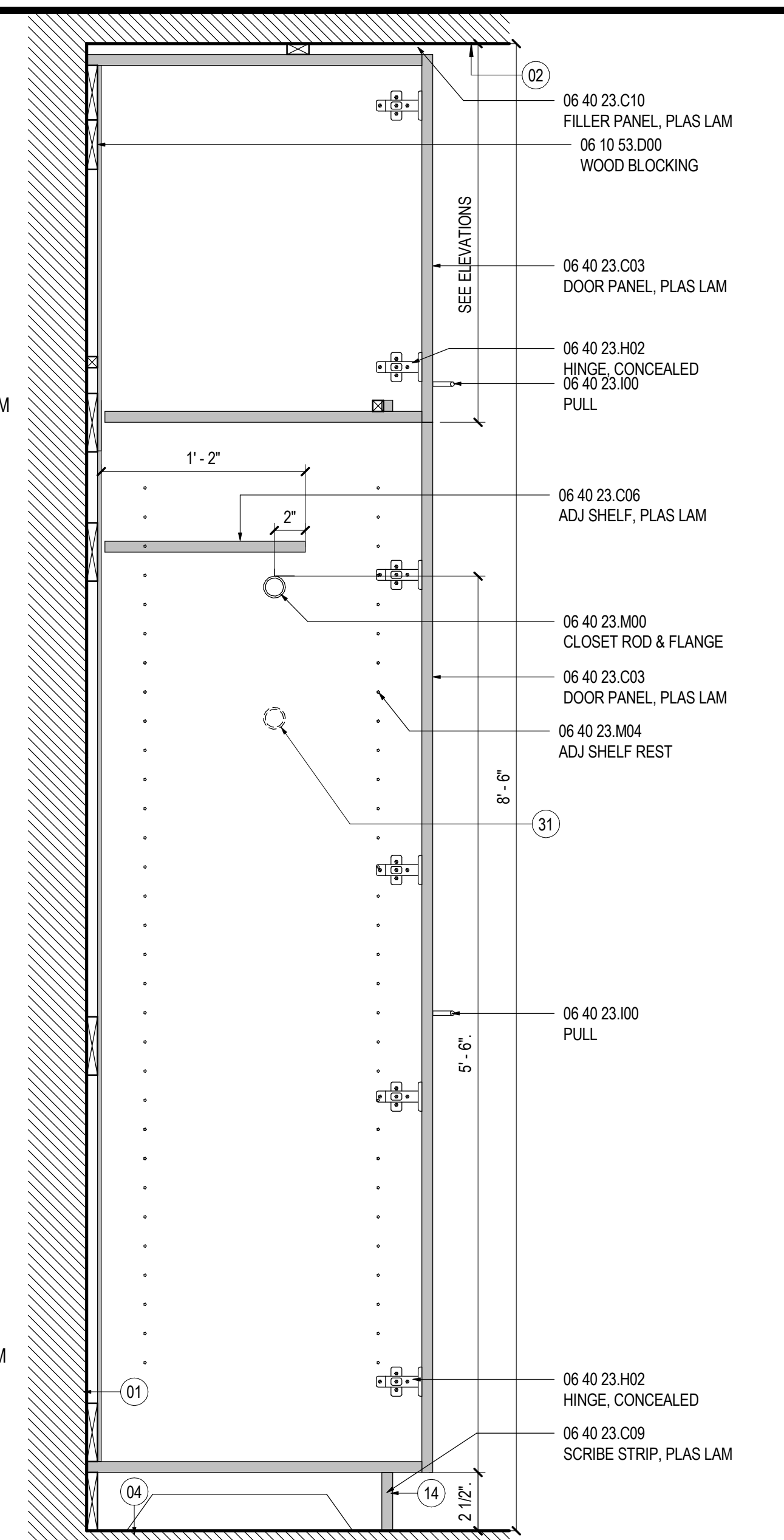
**14 PANTRY PANEL DOOR WITH TRASH CHUTE**  
SCALE: 1 1/2" = 1'-0"



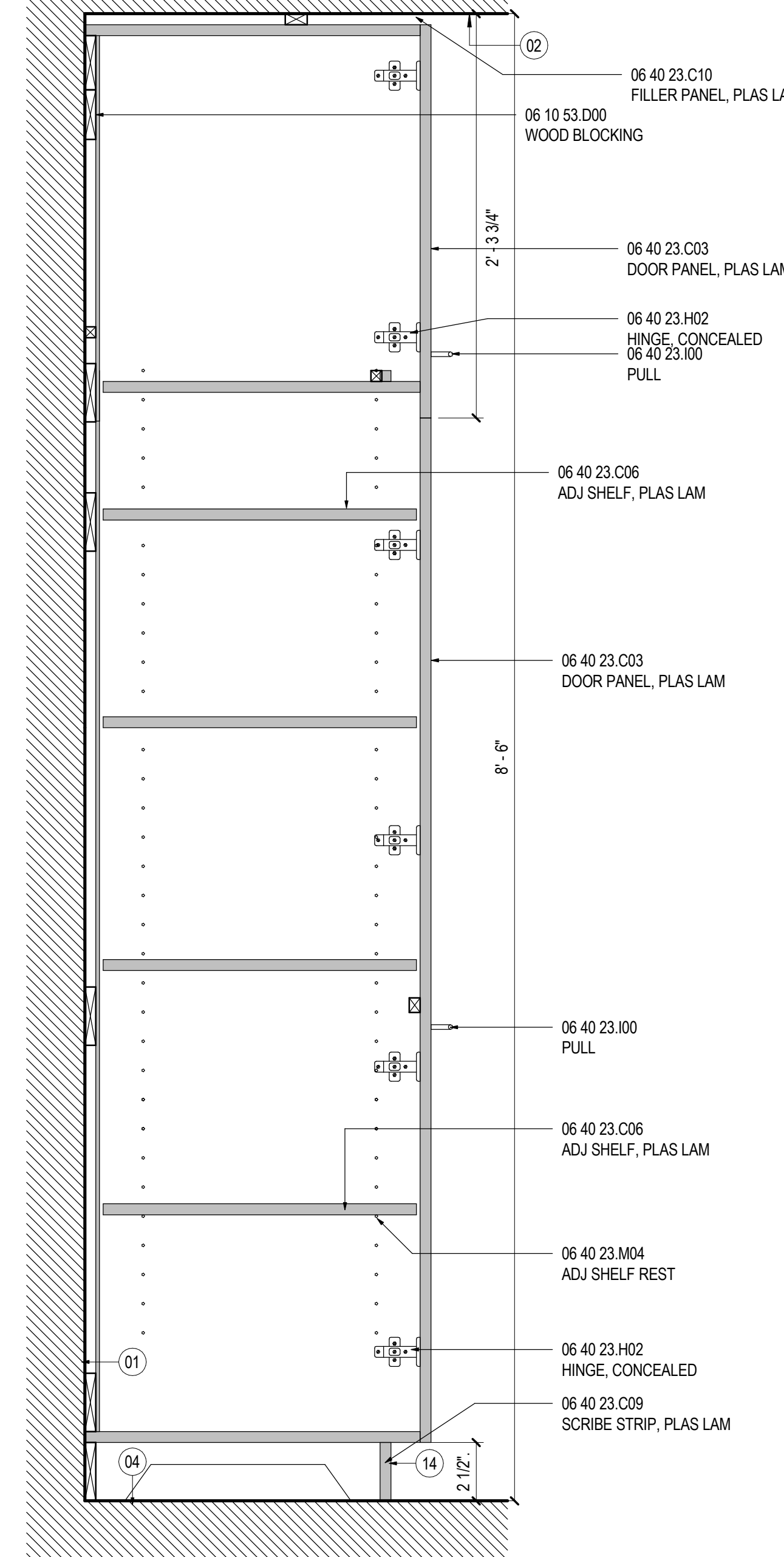
**15 FIRE EXTINGUISHER CABINET DETAIL**  
SCALE: 3" = 1'-0"



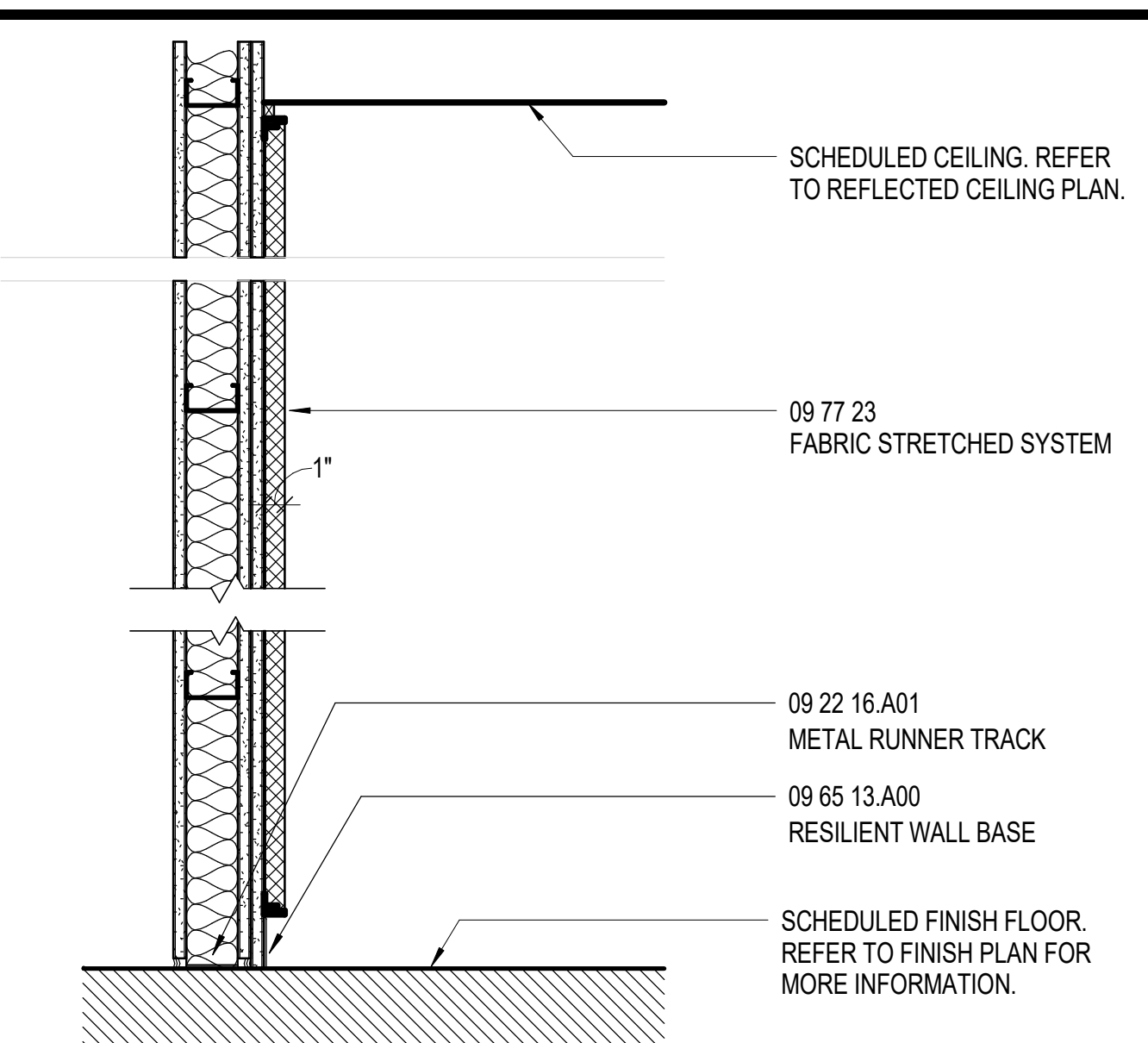
**16 BASE MILLWORK SECTION**  
SCALE: 1 1/2" = 1'-0"



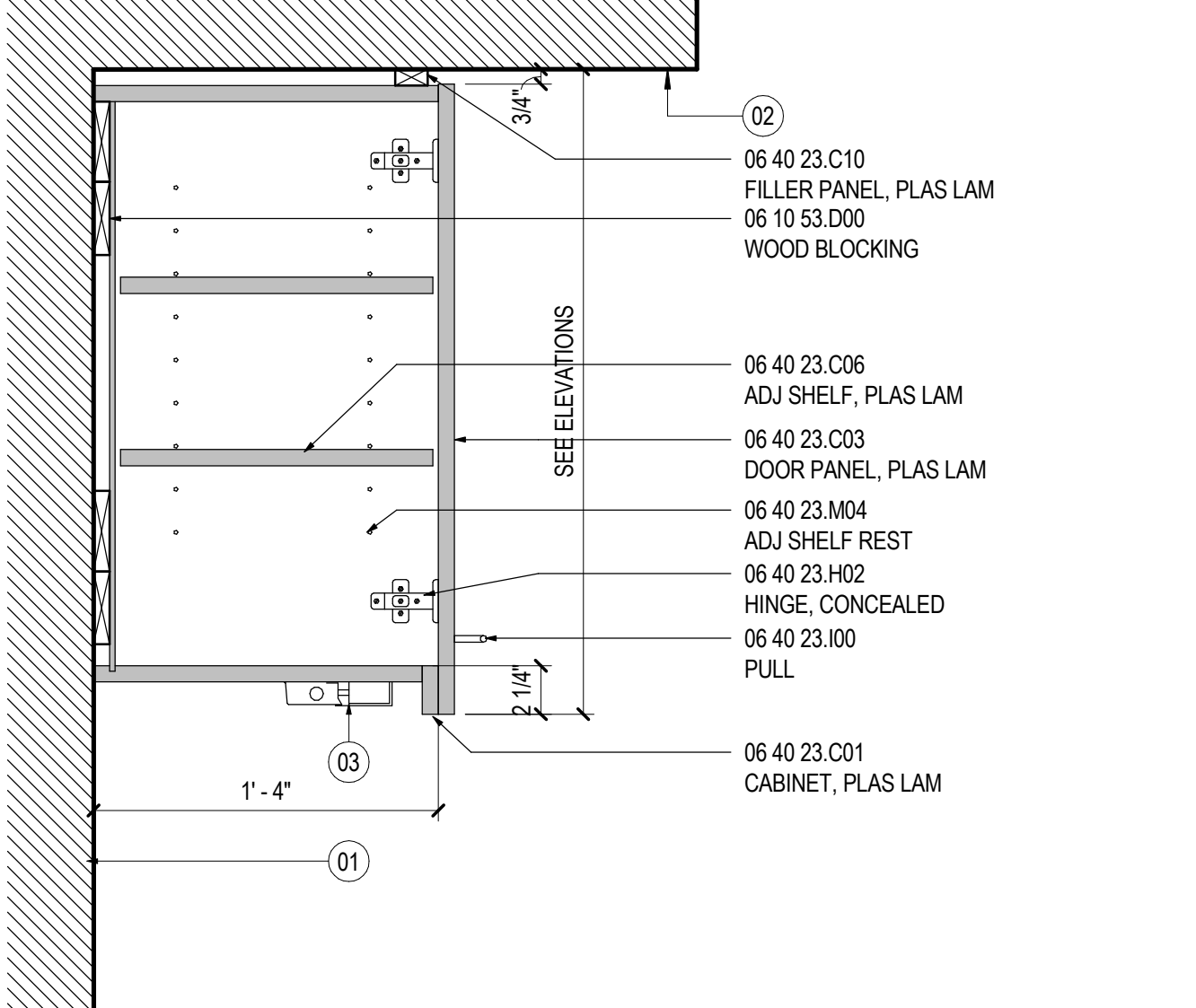
**10 SECTION THROUGH COATS MILLWORK**  
SCALE: 1 1/2" = 1'-0"



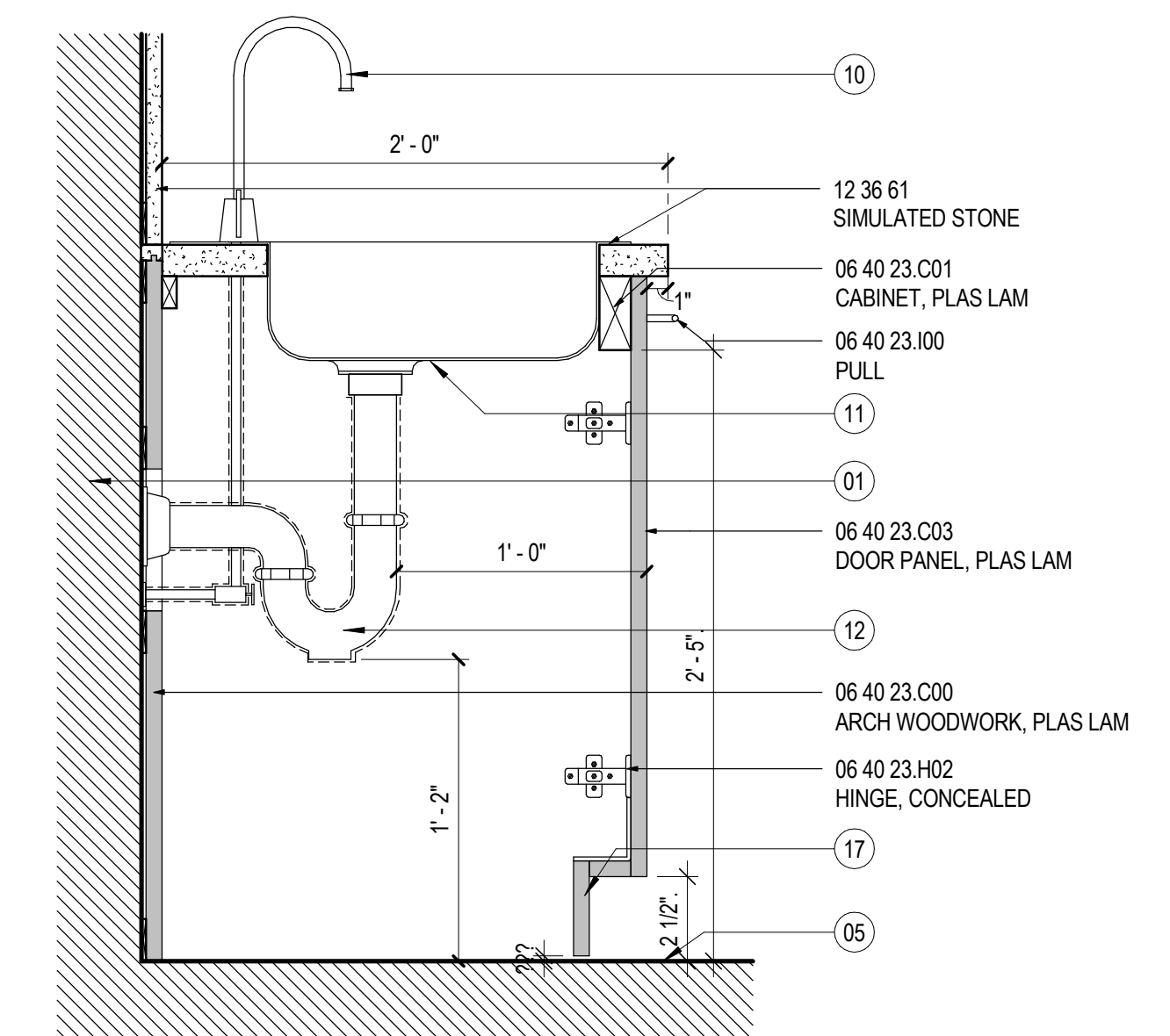
**12 BASE MILLWORK SECTION**  
SCALE: 1 1/2" = 1'-0"



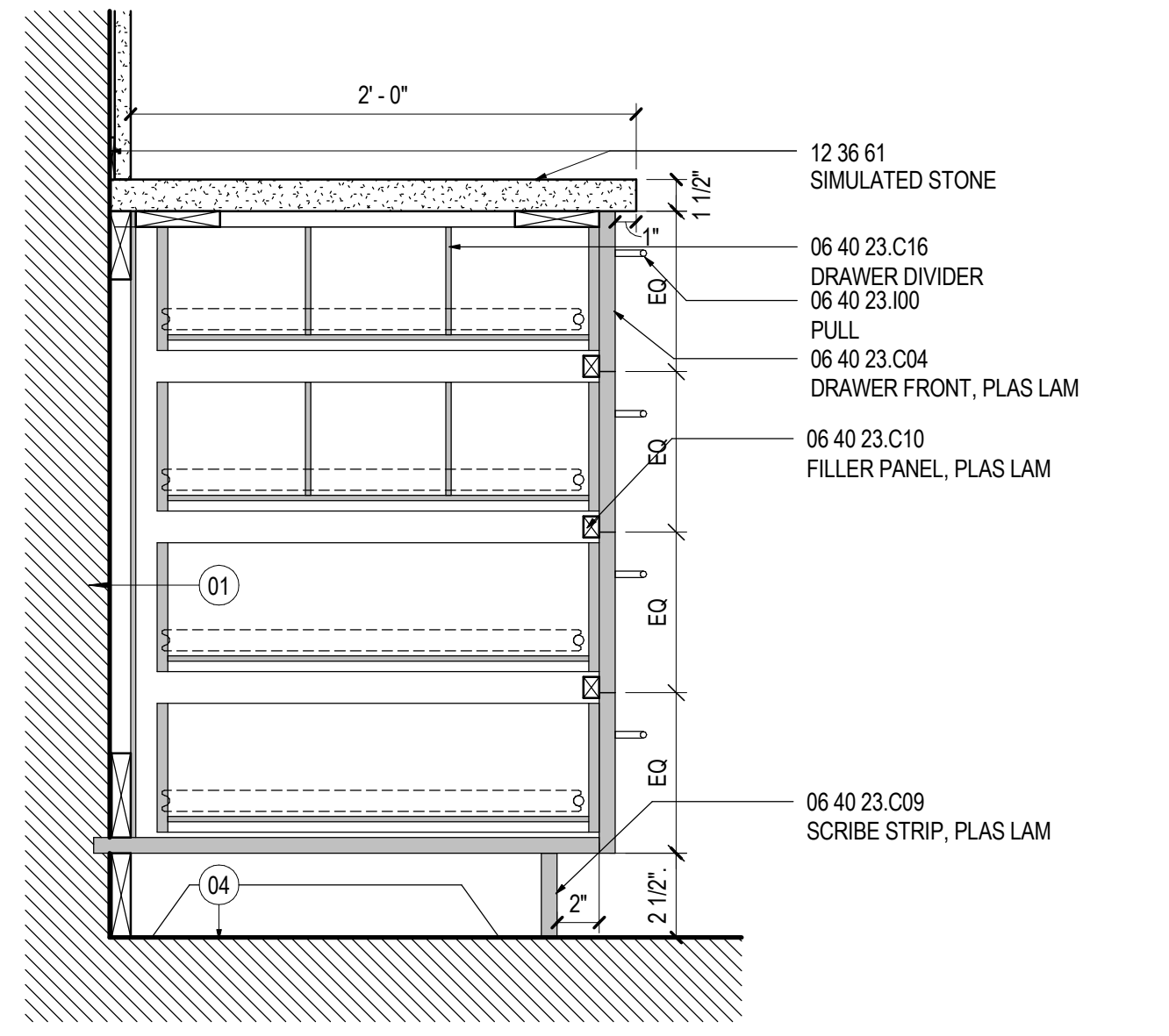
**05 STRETCHED FABRIC W/VINYL BASE**  
SCALE: 1 1/2" = 1'-0"



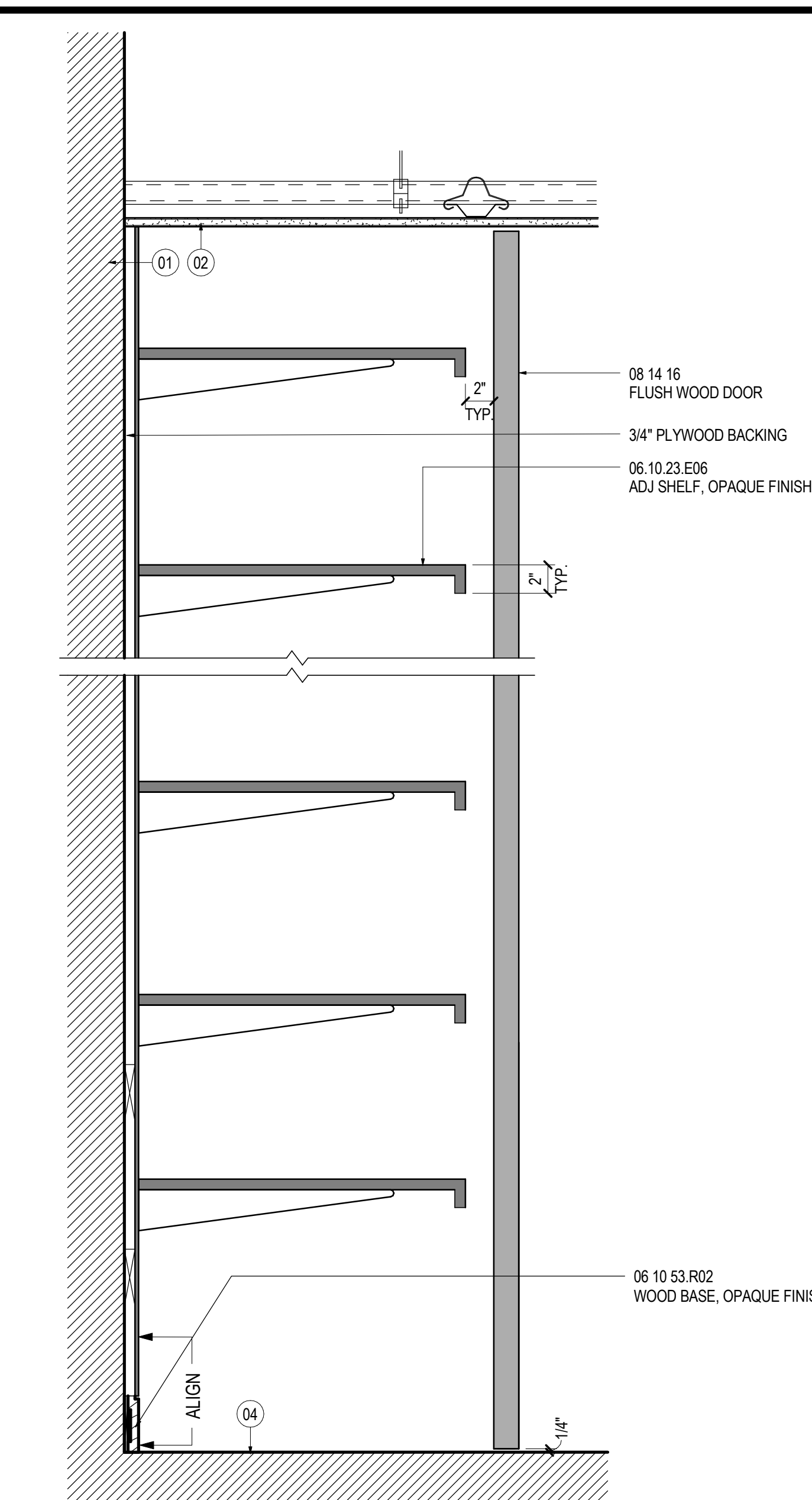
**06 UPPER MILLWORK SECTION**  
SCALE: 1 1/2" = 1'-0"



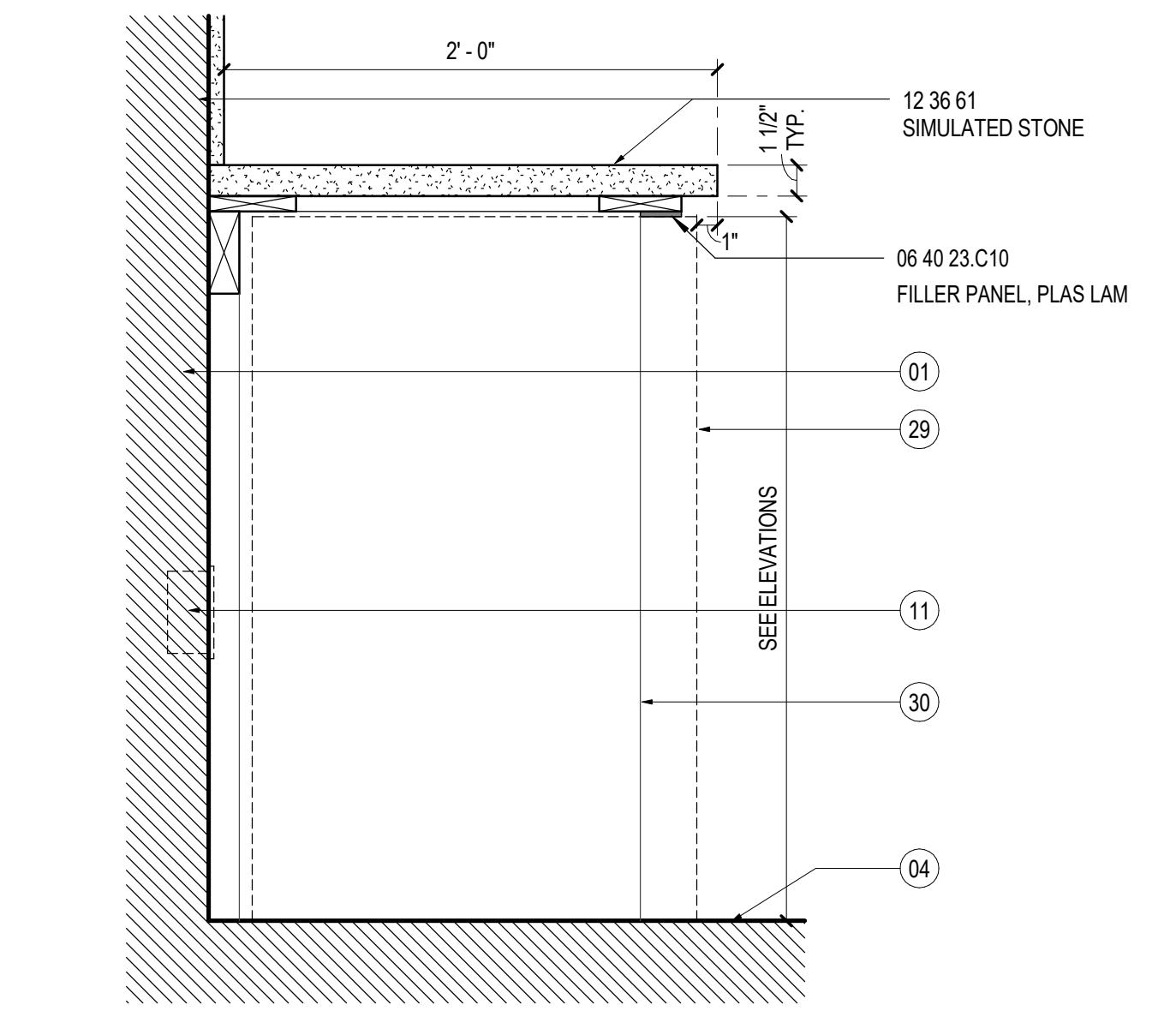
**07 COUNTER WITH SINK**  
SCALE: 1 1/2" = 1'-0"



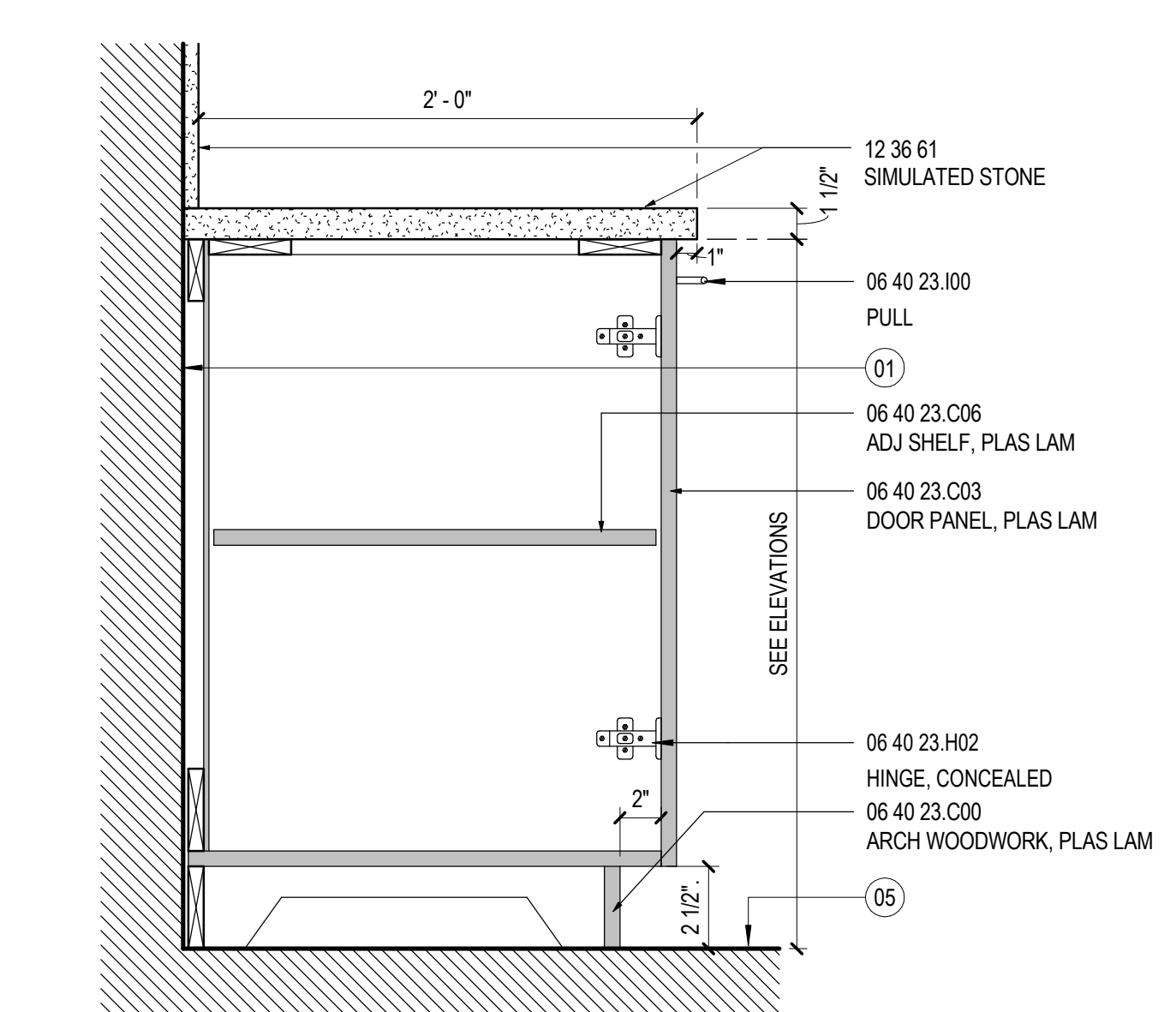
**08 BASE MILLWORK SECTION**  
SCALE: 1 1/2" = 1'-0"



**02 STORAGE SHELVING - SECTION**  
SCALE: 1 1/2" = 1'-0"



**03 COUNTER OPEN BELOW**  
SCALE: 1 1/2" = 1'-0"



**04 BASE MILLWORK SECTION**  
SCALE: 1 1/2" = 1'-0"

**GENERAL NOTES**

- 01 SCHEDULED OR EXISTING PARTITION
- 02 SCHEDULED CEILING. REFER TO REFLECTED CEILING PLAN FOR MORE INFORMATION.
- 03 SCHEDULED LIGHT FIXTURE. REFER TO REFLECTED CEILING PLAN
- 04 SCHEDULED FINISH FLOOR. REFER TO FINISH PLAN FOR MORE INFORMATION.
- 05 SCHEDULED PULL
- 06 SCHEDULED OUTLET DEVICES
- 07 REFUSE CONTAINER TO BE BOBRICK B-2280 OR SIMILAR.
- 08 INTEGRAL TOE KICK, NOTCH AS REQUIRED TO ALLOW DOORS TO SWING OPEN
- 09 SCHEDULED PULL
- 10 BLOCKING ATTACHED TO FLOOR FOR POSITIONING OF WASTE BASKET
- 11 COORDINATE HEIGHT WITH WASTE BASKET DIMENSIONS
- 12 SCHEDULED EQUIPMENT. REFER TO POWER/COMM DRAWINGS AND PROJECT MANUAL.
- 13 SUPPORT FINES BEYOND, QUANTITIES AS REQUIRED.
- 14 COAT ROD TO BE INSTALLED AT 4'-0" ADA HEIGHT.

**SHEET NOTES**

Date	Description
10/12/2018	DESIGN DEVELOPMENT - PHASE 2
12/21/2018	ISSUE FOR BID - PHASE 2

**Jackie Robinson Museum**  
75 Varick Street  
New York, NY 10013

**Gensler**  
1700 Broadway Suite 400  
New York, NY 10019  
United States  
Tel: 212.492.1400  
Fax: 212.492.1472

**Ralph Appelbaum Associates**  
Exhibit Design  
65 Pine Street  
New York, NY 10005  
Tel: 212.334.8200

**M-E Engineers**  
MEP & FP Engineer  
23 West 38th Street, 5th Floor  
New York, NY 10018  
Tel: 212.447.6770

**Silman**  
Structural Engineer  
32 Old Slip, 10th Floor  
New York, NY 10005  
Tel: 212.620.7970

**Gillman Consulting Inc**  
Code Consultant / Expeditor  
40 Worth Street, Suite 600  
New York, NY 10013  
Tel: 212.349.5304

**HDL**  
Lighting Designer  
10 East 38th Street, 5th Floor  
New York, NY 10016  
Tel: 212.529.7800

**Cerami**  
Acoustic, AV, IT & Security Consultant  
404 Fifth Avenue  
New York, NY 10018  
Tel: 212.370.1776

**Van Deusen & Associates**  
Vertical Transportation Consultant  
120 Eagle Rock Avenue  
Suite 310  
East Hanover, NJ 07936  
Tel: 973.994.5220

**NOT FOR CONSTRUCTION**

Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

Description  
**DETAILS - MILLWORK**

Scale  
As indicated

**A-961**

GENERAL NOTES

**Jackie Robinson Museum**  
75 Varick Street  
New York, NY 10013

**Gensler**

1700 Broadway  
Suite 400  
New York, NY 10019  
United States  
Tel: 212.492.1400  
Fax: 212.492.1472

Ralph Appelbaum Associates  
Exhibit Design  
88 Pine Street  
New York, NY 10005  
Tel: 212.334.8200

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MEP & FP Engineer  
23 West 38th Street, 5th Floor  
New York, NY 10018  
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Structural Engineer  
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Vertical Transportation Consultant  
120 Eagle Rock Avenue  
Suite 310  
East Hanover, NJ 07936  
Tel: 973.994.5220

SHEET NOTES

- 01 SCHEDULED PARTITION
- 02 SCHEDULED FINISH FLOOR, REFER TO FINISH PLAN FOR MORE INFORMATION
- 04 REFER TO LIGHTING SPECS FOR MORE INFORMATION
- 05 TRACK TO BE FINISHED TO MATCH ADJACENT METAL PANEL
- 06 08 33 23 - OVERHEAD COILING DOOR & TRACK, PROVIDE BLOCKING IN WALL AS REQUIRED.

Date	Description
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR CONSTRUCTION**

Project Name  
**Jackie Robinson Foundation**

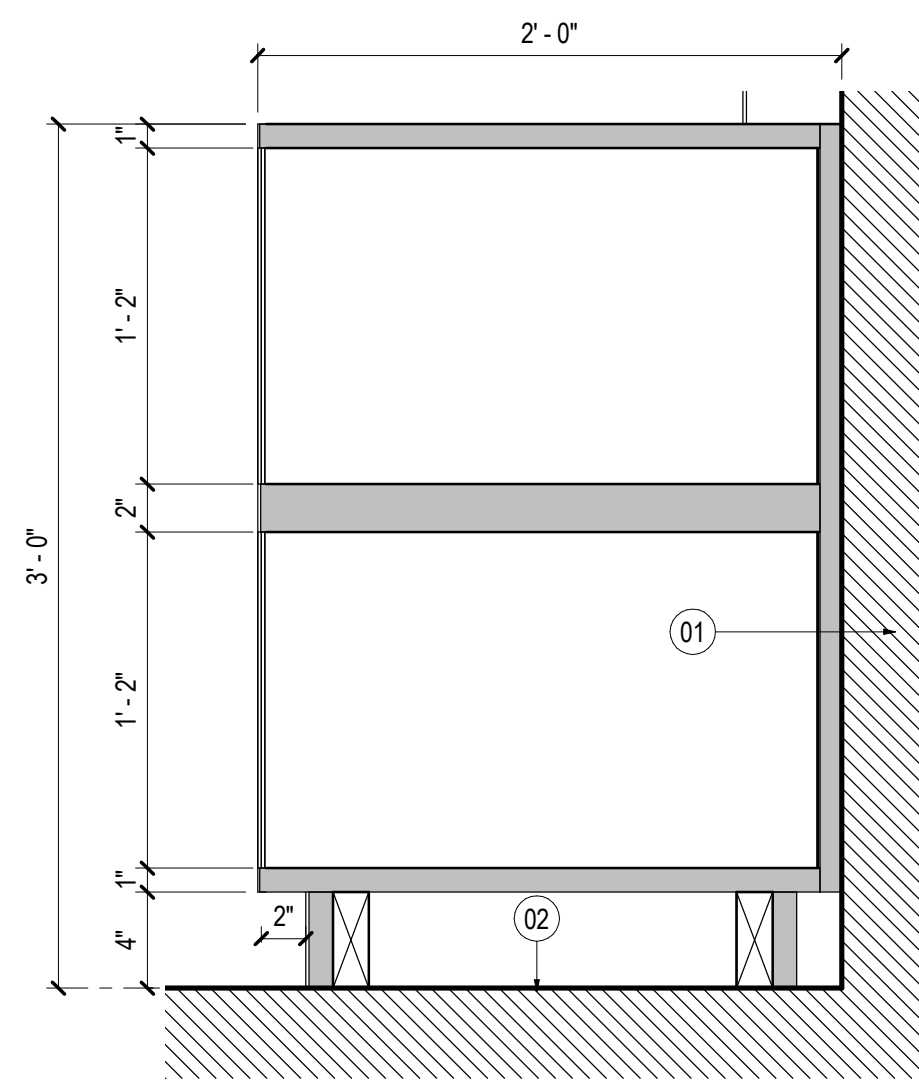
Project Number  
**06.6256.015**

Description  
**DETAILS - GIFT SHOP MILLWORK**

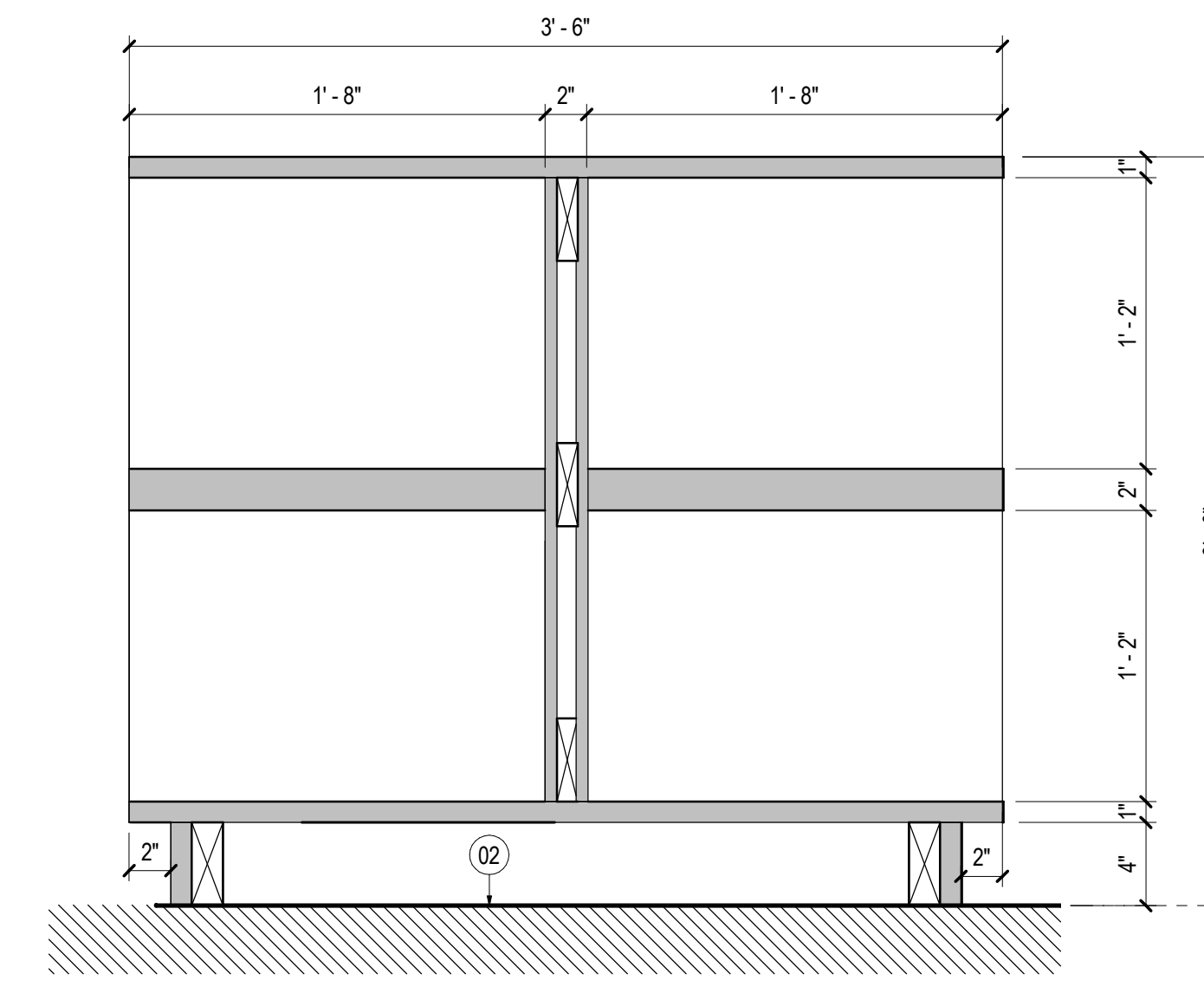
Scale  
1 1/2" = 1'-0"

**A-964**

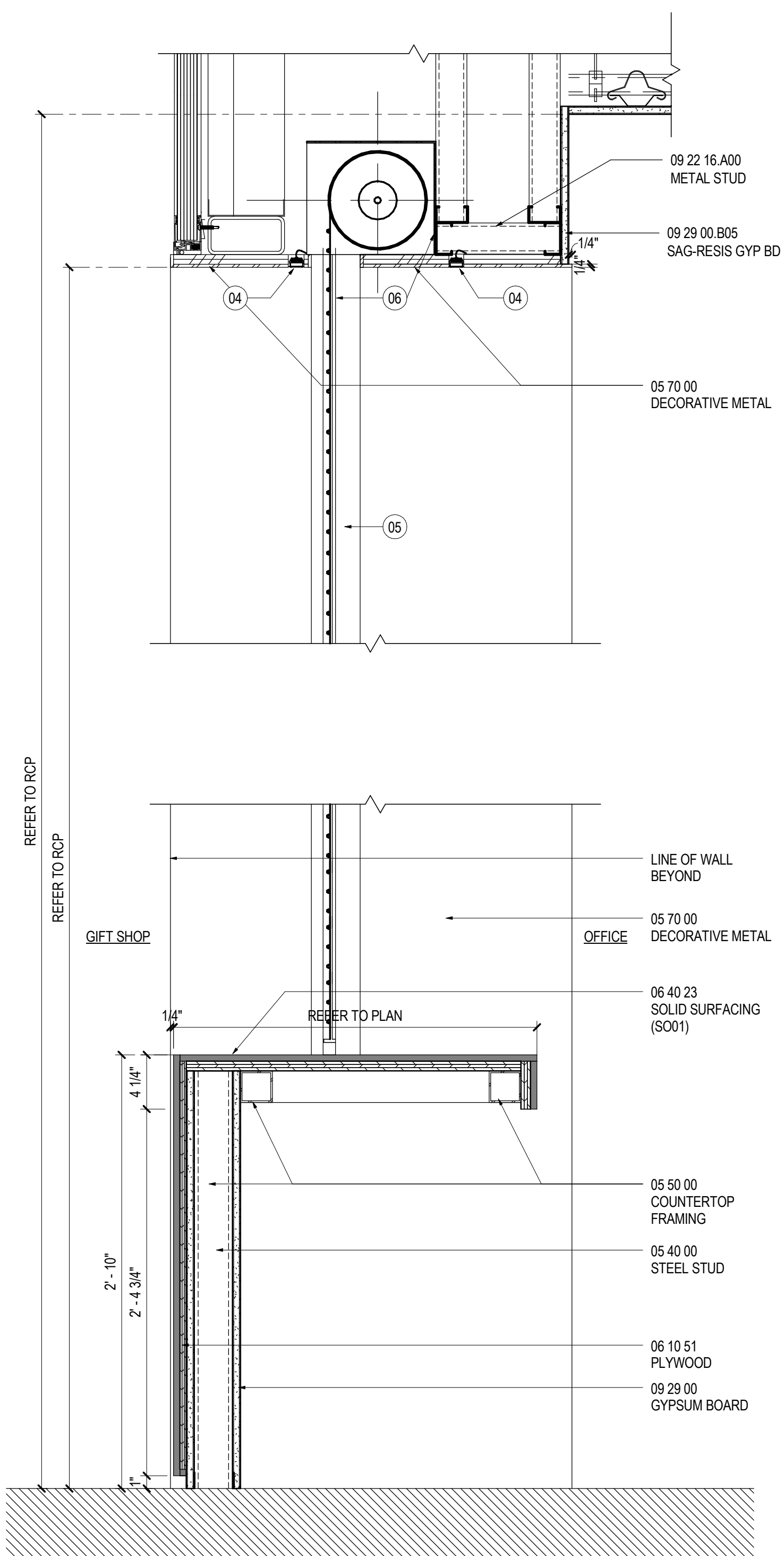
© 2018 Gensler



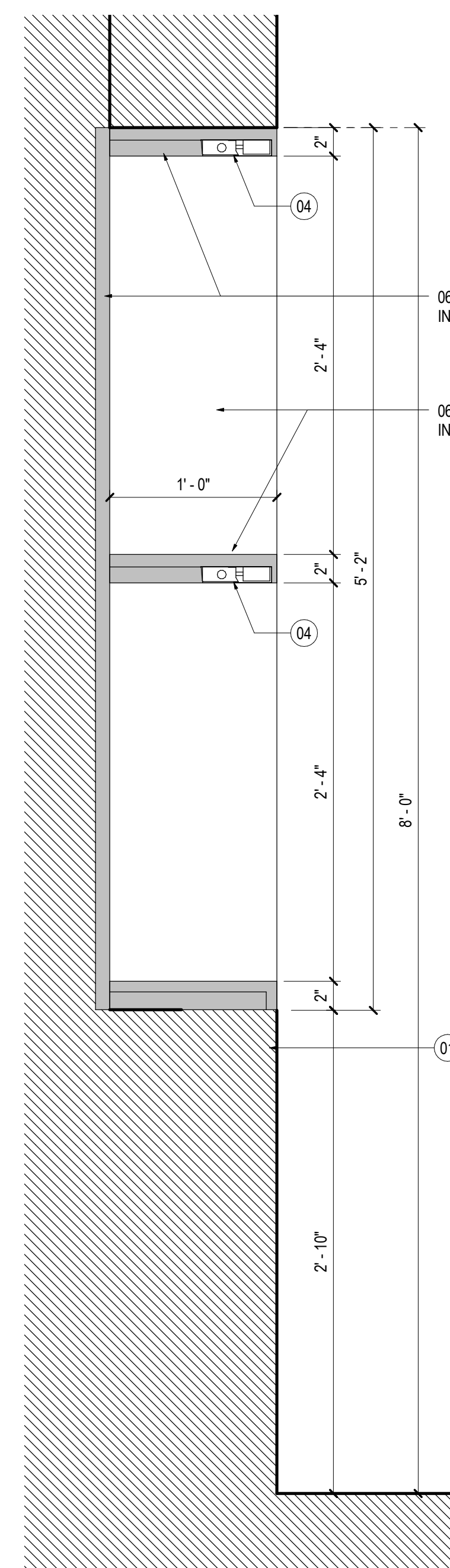
**05 GIFT SHOP COUNTER DISPLAY**  
SCALE: 1 1/2" = 1'-0"



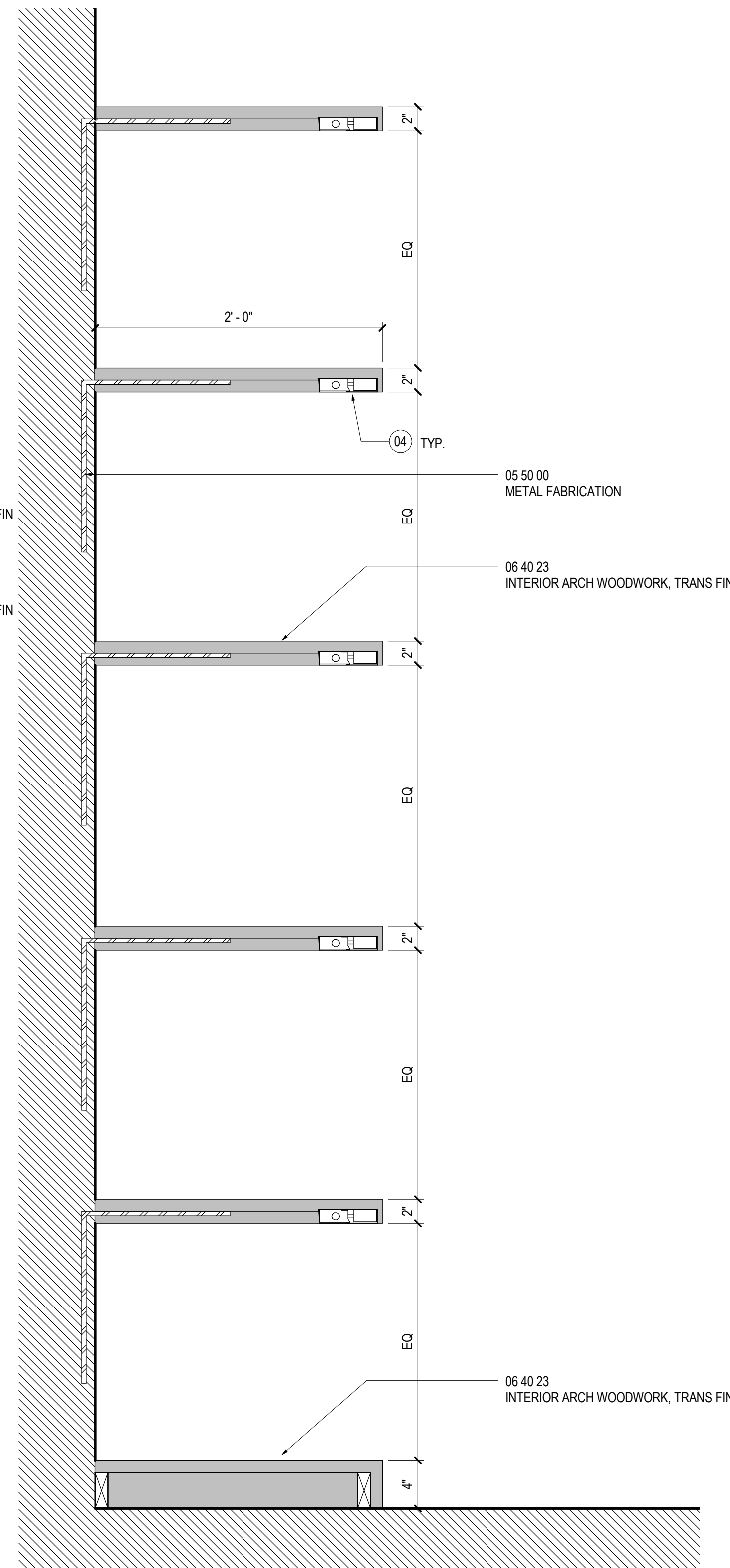
**01 GIFT SHOP COUNTER DISPLAY DOUBLE**  
SCALE: 1 1/2" = 1'-0"



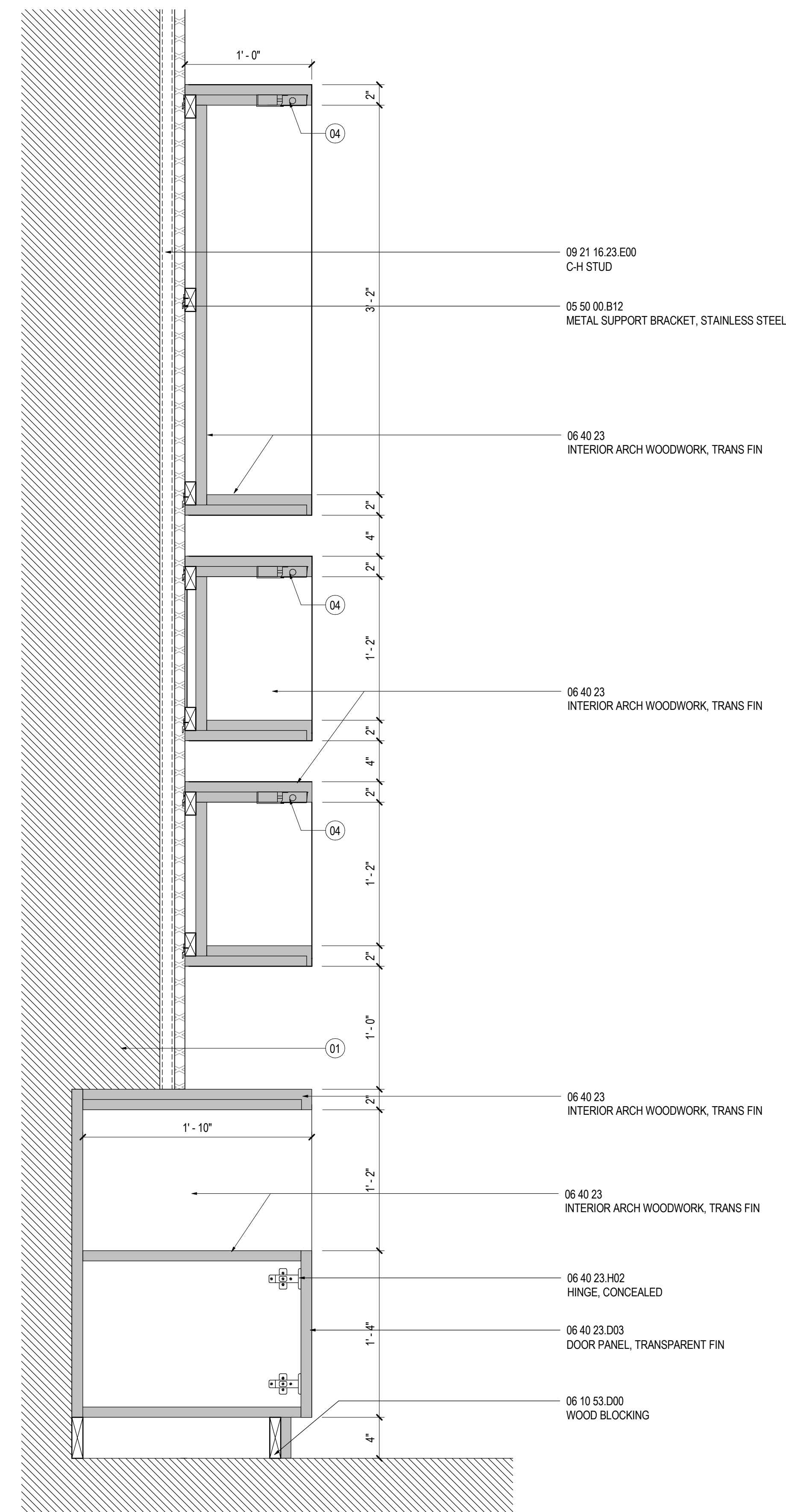
**16 GIFT SHOP COUNTER SECTION**  
SCALE: 1 1/2" = 1'-0"



**12 RECESSED EXHIBIT DISPLAY**  
SCALE: 1 1/2" = 1'-0"



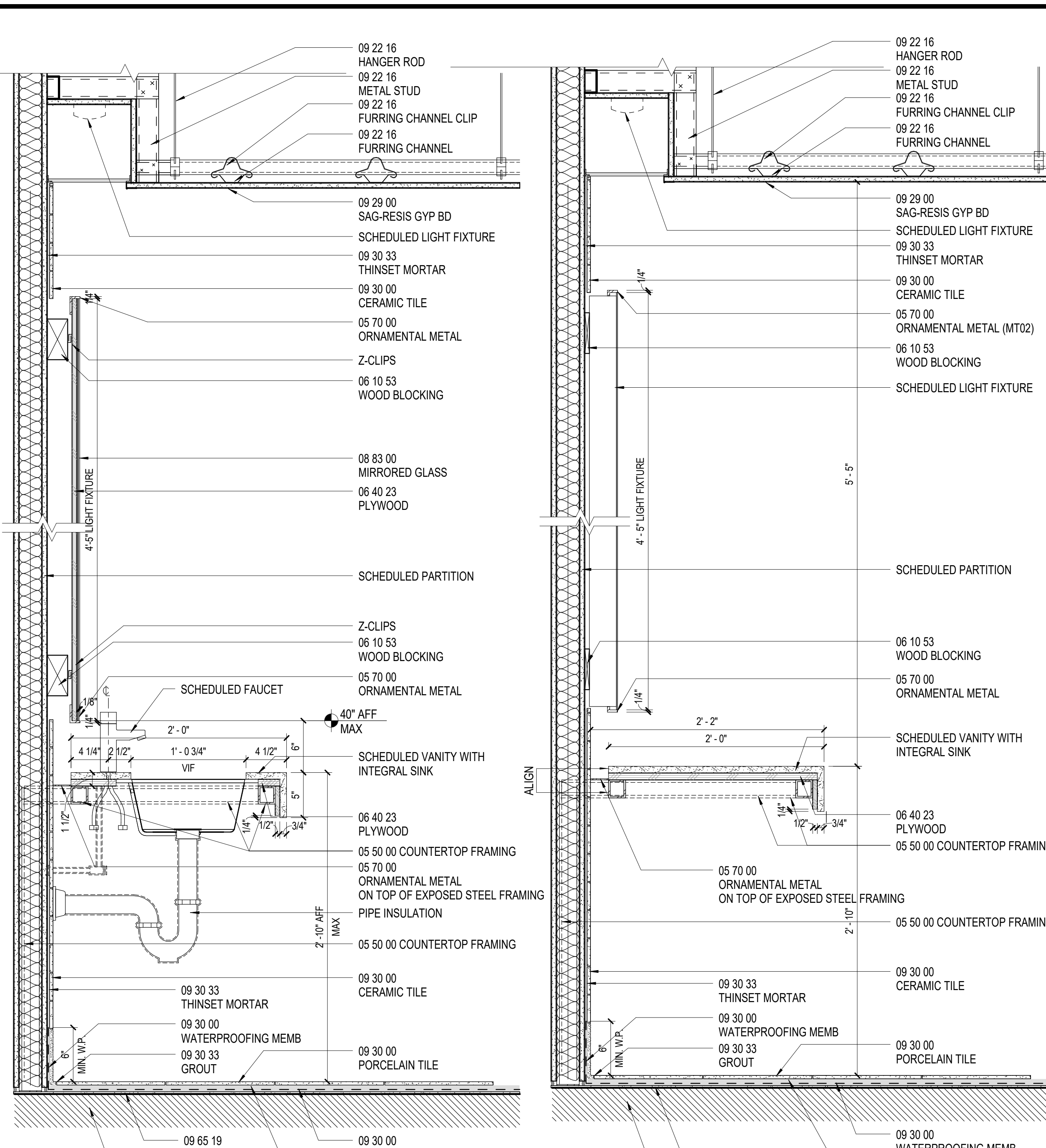
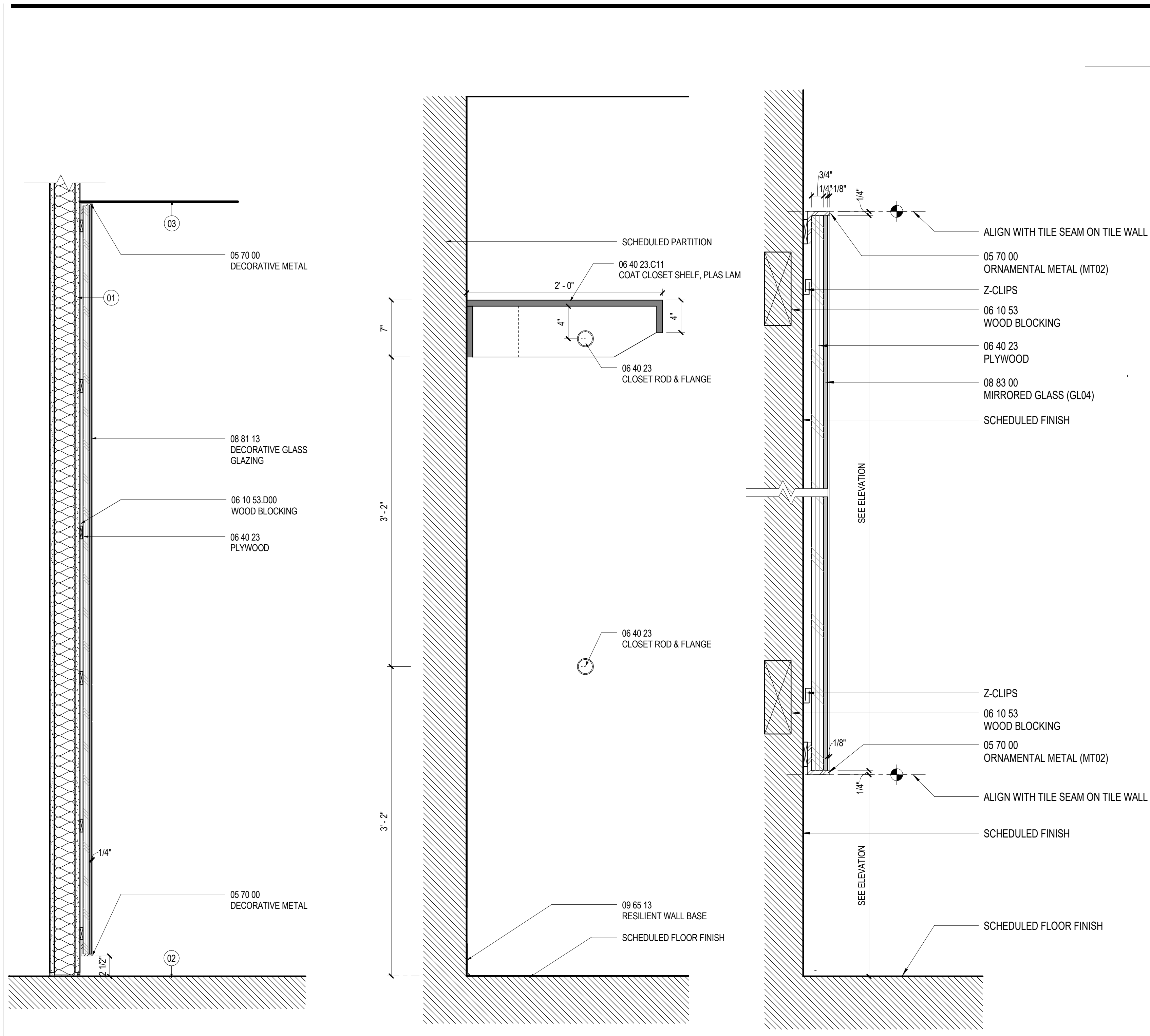
**08 GIFT SHOP SHELVES**  
SCALE: 1 1/2" = 1'-0"



**04 METAL GRID WALL SECTION AT DISPLAY**  
SCALE: 1 1/2" = 1'-0"

12/21/2018 10:06:51 PM





**19 MARKERBOARD SECTION**  
SCALE: 1 1/2" = 1'-0"

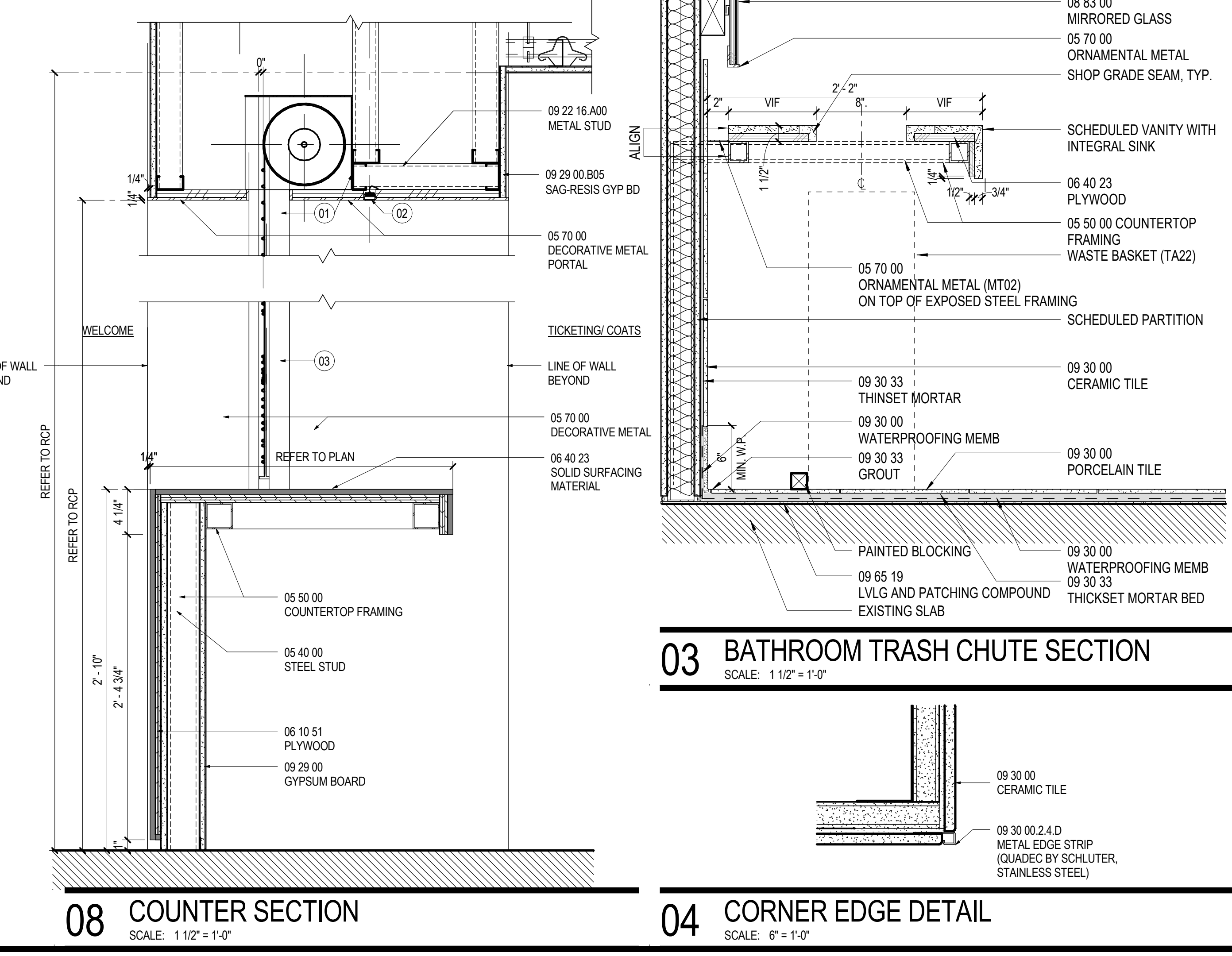
**15 COAT ROOM MILLWORK SECTION**  
SCALE: 1 1/2" = 1'-0"

**11 BATHROOM MIRROR SECTION**  
SCALE: 3" = 1'-0"

**07 BATHROOM SINK SECTION**  
SCALE: 1 1/2" = 1'-0"

**02 BATHROOM COUNTERTOP SECTION**  
SCALE: 1 1/2" = 1'-0"

**03 BATHROOM TRASH CHUTE SECTION**  
SCALE: 1 1/2" = 1'-0"



**GENERAL NOTES**

**SHEET NOTES**

- 08 33 23 - OVERHEAD COILING DOOR & TRACK. PROVIDE BLOCKING IN WALL AS REQUIRED.
- REFER TO LIGHTING SPECS FOR MORE INFORMATION.
- TRACK TO BE FINISHED TO MATCH ADJACENT METAL PANEL.

**Jackie Robinson Museum**  
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New York, NY 10013

**Gensler**  
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Tel: 973.994.9220

Date	Description
12/21/2018	ISSUE FOR BID - PHASE 2

**NOT FOR CONSTRUCTION**

Project Name  
**Jackie Robinson Foundation**

Project Number  
**06.6256.015**

Description  
**DETAILS - MILLWORK**

Scale  
As indicated

**A-970**

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# **EXHIBIT C**



THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION  
 1 CENTRE STREET 9TH FLOOR NORTH NEW YORK NY 10007  
 TEL: 212 669-7700 FAX: 212 669-7780



# PERMIT CERTIFICATE OF NO EFFECT

<b>ISSUE DATE:</b> 02/20/19	<b>EXPIRATION DATE:</b> 2/20/2023	<b>DOCKET #:</b> LPC-19-35424	<b>CNE</b> CNE-19-35424
<b>ADDRESS:</b> 75 VARICK STREET		<b>BOROUGH:</b> MANHATTAN	<b>BLOCK/LOT:</b> 226 / 1
Holland Plaza Building, Individual Landmark			

**Display This Permit While Work Is In Progress**

ISSUED TO:

**Peter A. St. John**  
**Hines**  
**205 Hudson Street**  
**7th Floor**  
**New York, NY 10013**

**NOT ORIGINAL  
 COMPUTER-GENERATED COPY**

Pursuant to Section 25-306 of the Administrative Code of the City of New York, the Landmarks Preservation Commission hereby approves certain alterations to the subject premises as proposed in your application completed on February 20, 2019.

The approved work consists of exterior work at portions of bays at the Canal Street (south) and Varick Street (east) facades, including the replacement of modern metal and glass storefront infill, including four (4) sets of paired doors, three (3) display windows, and three (3) bulkheads with dark green painted metal and glass infill, including two (2) sets of paired doors, five (5) display windows, and five (5) bulkheads; the installation of a metal push plate (access actuator) at the storefront framing adjacent to the new doors at the Varick Street facade; and replacement of glazing at single light transoms at the Canal Street facade with dark green painted louvers, including three (3) at the westernmost bay of the first floor and five (5) at the fourth westernmost bay at the second floor, as shown on drawings labeled A-001.00, A-002.00, A-003.00, A-004.00, A-005.00, A-020.00, A-030.00, A-031.00, A-040.00, A-051.00, A-081.00, A-082.00, DM-201.00, DM-202.00, DM-402.00, A-201.00, A-202.00, A-401.00, A-402.00, A-800.00, A-801.00, A-802.00, A-803.00, A-840.00, A-841.00, A-842.00, A-843.00, A-844.00, A-845.00, A-846.00, A-847.00, A-861.00, A-862.00, A-901.00, A-902.00, A-921.00, A-941.00, A-942.00, A-961.00, A-964.00, and A-970.00, dated January 10, 2019, and A-700.00, dated (revised) February 14, 2019, prepared by Madeline Burke-Vigeland, R.A.; M-000.00, M-010.00, M-100.00, M-101.00, M-102.00, M-200.00, M-201.00, and M-202.00, dated

December 14, 2018, prepared by Charles N. Warner, P.E.; and S-001.00, S-101.00, S-102.00, S-401.00, and S-501.00, prepared by John Patrick Arnett, P.E., all submitted as components of the application.

In reviewing this proposal, the Commission notes that the Holland Plaza Building Designation Report describes 73-93 Varick Street (aka 73-99 Watts Street and 431-475 Canal Street) as a Modern-Classical style manufacturing building designed by Ely Jacques Kahn and built in 1930.

With regard to this proposal, the Commission finds that certain aspects of the work are in accordance with the provisions set forth in Title 63 of the Rules of the City of New York, Section 2-18 for Barrier-Free Access, including Section 2-18(d)(1) for access actuators on building facades; and Section 2-21 for Installation of Heating, Ventilation, Air Conditioning and other Mechanical Equipment, including Section 2-21(c)(2)(i) for HVAC equipment within window openings on primary facades. Furthermore, with regard to these or aspects of the work, the Commission finds that only portions of the storefront infill at each of the seven bays will be replaced; that none of the work will alter, eliminate, or conceal any historic fabric which exists or which was in place at the time of the designation of the building; that the new infill will match the remaining infill at these bays in terms of materials, profiles, details, and finishes; that the new infill will feature component elements (doors, display windows, and bulkheads) which match infill at the remaining bays in terms of placement, composition, design, and proportions; and that the work will maintain a unified composition, without detracting from any significant architectural features of the building. Based on these findings, the work is approved.

Please see Title 63 of the Rules of the City of New York for complete text of any Rule section(s) cited in this permit: <http://www1.nyc.gov/site/lpc/applications/rules-guides.page>

The Commission has reviewed the application and these drawings and finds that the work will have no effect on significant protected features of the building.

This permit is issued on the basis of the building and site conditions described in the application and disclosed during the review process. By accepting this permit, the applicant agrees to notify the Commission if the actual building or site conditions vary or if original or historic building fabric is discovered. The Commission reserves the right to amend or revoke this permit, upon written notice to the applicant, in the event that the actual building or site conditions are materially different from those described in the application or disclosed during the review process.

All approved drawings are marked approved by the Commission with a perforated seal indicating the date of the approval. The work is limited to what is contained in the perforated document. Other work or amendments to this filing must be reviewed and approved separately. The applicant is hereby put on notice that performing or maintaining any work not explicitly authorized by this permit may make the applicant liable for criminal and/or civil penalties, including imprisonment and fine. This letter constitutes the permit; a copy must be prominently displayed at the site while work is in progress. Please direct inquiries to Lacy Williams.

Sarah Carroll  
Chair

**PLEASE NOTE: PERFORATED DRAWINGS AND A COPY OF THIS PERMIT HAVE BEEN SENT TO:**  
Johnathan Taylor, Higgins Quasebarth & Partners

**cc:** Bernadette Artus, Deputy Director; Johnathan Taylor, Higgins Quasebarth & Partners

# **EXHIBIT D**

## NEW YORK CITY WATERFRONT REVITALIZATION PROGRAM Consistency Assessment Form

Proposed actions that are subject to CEQR, ULURP or other local, state or federal discretionary review procedures, and that are within New York City's Coastal Zone, must be reviewed and assessed for their consistency with the [New York City Waterfront Revitalization Program](#) (WRP) which has been approved as part of the State's Coastal Management Program.

This form is intended to assist an applicant in certifying that the proposed activity is consistent with the WRP. It should be completed when the local, state, or federal application is prepared. The completed form and accompanying information will be used by the New York State Department of State, the New York City Department of City Planning, or other city or state agencies in their review of the applicant's certification of consistency.

### A. APPLICANT INFORMATION

Name of Applicant: Lower Manhattan Development Corporation

Name of Applicant Representative: Daniel Ciniello

Address: 22 Cortlandt Street, 11th Floor, New York, New York 10007

Telephone: 212-962-2399 Email: dciniello@renewnyc.com

Project site owner (if different than above): Jackie Robinson Foundation as Lessee of Trinity Real Estate

### B. PROPOSED ACTIVITY

*If more space is needed, include as an attachment.*

#### I. Brief description of activity

LMDC anticipates submitting a request to the U.S. Department of Housing and Urban Development for the release of Community Development Block Grant program funds to be awarded by LMDC to the Jackie Robinson Foundation (the "Foundation") to develop the Jackie Robinson Museum (the "Museum"), located at 75 Varick Street in Manhattan, four blocks from the Hudson River waterfront. The building at 75 Varick Street, which was constructed in 1929, is a 17-story office building. The Museum will occupy 19,380 square feet of the southeast corner section of the ground floor of the building at 75 Varick, as well as a portions of the Foundation's current headquarters on the second floor. This project is largely an interior renovation, but does include minor modifications to the exterior of the building, which have been approved by LPC in a Certificate of No Effect.

#### 2. Purpose of activity

The purpose of the renovation of the of the ground and second floors of the building at 75 Varick Street in Manhattan is to develop the space to accommodate the Jackie Robinson Museum.

**C. PROJECT LOCATION**

Borough: Manhattan Tax Block/Lot(s): Block 226, Lot 1

Street Address: 75 Varick Street

Name of water body (if located on the waterfront): NA

**D. REQUIRED ACTIONS OR APPROVALS**

Check all that apply.

**City Actions/Approvals/Funding**

**City Planning Commission**

Yes  No

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> City Map Amendment               | <input type="checkbox"/> Zoning Certification        | <input type="checkbox"/> Concession        |
| <input type="checkbox"/> Zoning Map Amendment             | <input type="checkbox"/> Zoning Authorizations       | <input type="checkbox"/> UDAAP             |
| <input type="checkbox"/> Zoning Text Amendment            | <input type="checkbox"/> Acquisition – Real Property | <input type="checkbox"/> Revocable Consent |
| <input type="checkbox"/> Site Selection – Public Facility | <input type="checkbox"/> Disposition – Real Property | <input type="checkbox"/> Franchise         |
| <input type="checkbox"/> Housing Plan & Project           | <input type="checkbox"/> Other, explain: _____       |  |
| <input type="checkbox"/> Special Permit                   |  |  |
- (if appropriate, specify type:  Modification  Renewal  other) Expiration Date: \_\_\_\_\_

**Board of Standards and Appeals**

Yes  No

- Variance (use)
- Variance (bulk)
- Special Permit
- (if appropriate, specify type:  Modification  Renewal  other) Expiration Date: \_\_\_\_\_

**Other City Approvals**

- |  |   |
|--|---|
| <input type="checkbox"/> Legislation   | <input type="checkbox"/> Funding for Construction, specify: _____ |
| <input type="checkbox"/> Rulemaking  | <input type="checkbox"/> Policy or Plan, specify: _____           |
| <input type="checkbox"/> Construction of Public Facilities   | <input type="checkbox"/> Funding of Program, specify: _____       |
| <input type="checkbox"/> 384 (b) (4) Approval  | <input type="checkbox"/> Permits, specify: _____                  |
| <input checked="" type="checkbox"/> Other, explain: <u>Landmarks Preservation Commission, Application for Certificate of No Effect</u> |   |

**State Actions/Approvals/Funding**

- State permit or license, specify Agency: \_\_\_\_\_ Permit type and number: \_\_\_\_\_
- Funding for Construction, specify: \_\_\_\_\_
- Funding of a Program, specify: \_\_\_\_\_
- Other, explain: \_\_\_\_\_

**Federal Actions/Approvals/Funding**

- Federal permit or license, specify Agency: \_\_\_\_\_ Permit type and number: \_\_\_\_\_
- Funding for Construction, specify: \_\_\_\_\_
- Funding of a Program, specify: \_\_\_\_\_
- Other, explain: US HUD, Community Development Block Grant Program

Is this being reviewed in conjunction with a [Joint Application for Permits?](#)  Yes  No



## E. LOCATION QUESTIONS

1. Does the project require a waterfront site?  Yes  No
2. Would the action result in a physical alteration to a waterfront site, including land along the shoreline, land under water or coastal waters?  Yes  No
3. Is the project located on publicly owned land or receiving public assistance?  Yes  No
4. Is the project located within a FEMA 1% annual chance floodplain? (6.2)  Yes  No
5. Is the project located within a FEMA 0.2% annual chance floodplain? (6.2)  Yes  No
6. Is the project located adjacent to or within a special area designation? See [Maps – Part III](#) of the NYC WRP. If so, check appropriate boxes below and evaluate policies noted in parentheses as part of WRP Policy Assessment (Section F).
  - Significant Maritime and Industrial Area (SMIA) (2.1)
  - Special Natural Waterfront Area (SNWA) (4.1)
  - Priority Maritime Activity Zone (PMAZ) (3.5)
  - Recognized Ecological Complex (REC) (4.4)
  - West Shore Ecologically Sensitive Maritime and Industrial Area (ESMIA) (2.2, 4.2)

## F. WRP POLICY ASSESSMENT

Review the project or action for consistency with the WRP policies. For each policy, check Promote, Hinder or Not Applicable (N/A). For more information about consistency review process and determination, see **Part I** of the [NYC Waterfront Revitalization Program](#). When assessing each policy, review the full policy language, including all sub-policies, contained within **Part II** of the WRP. The relevance of each applicable policy may vary depending upon the project type and where it is located (i.e. if it is located within one of the special area designations).

For those policies checked Promote or Hinder, provide a written statement on a separate page that assesses the effects of the proposed activity on the relevant policies or standards. If the project or action promotes a policy, explain how the action would be consistent with the goals of the policy. If it hinders a policy, consideration should be given toward any practical means of altering or modifying the project to eliminate the hindrance. Policies that would be advanced by the project should be balanced against those that would be hindered by the project. If reasonable modifications to eliminate the hindrance are not possible, consideration should be given as to whether the hindrance is of such a degree as to be substantial, and if so, those adverse effects should be mitigated to the extent practicable.

		Promote	Hinder	N/A
<b>I</b>	<b>Support and facilitate commercial and residential redevelopment in areas well-suited to such development.</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
1.1	Encourage commercial and residential redevelopment in appropriate Coastal Zone areas.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
1.2	Encourage non-industrial development with uses and design features that enliven the waterfront and attract the public.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
1.3	Encourage redevelopment in the Coastal Zone where public facilities and infrastructure are adequate or will be developed.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
1.4	In areas adjacent to SMIA's, ensure new residential development maximizes compatibility with existing adjacent maritime and industrial uses.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
1.5	Integrate consideration of climate change and sea level rise into the planning and design of waterfront residential and commercial development, pursuant to WRP Policy 6.2.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

		Promote	Hinder	N/A
<b>2</b>	<b>Support water-dependent and industrial uses in New York City coastal areas that are well-suited to their continued operation.</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.1	Promote water-dependent and industrial uses in Significant Maritime and Industrial Areas.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.2	Encourage a compatible relationship between working waterfront uses, upland development and natural resources within the Ecologically Sensitive Maritime and Industrial Area.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.3	Encourage working waterfront uses at appropriate sites outside the Significant Maritime and Industrial Areas or Ecologically Sensitive Maritime Industrial Area.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.4	Provide infrastructure improvements necessary to support working waterfront uses.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.5	Incorporate consideration of climate change and sea level rise into the planning and design of waterfront industrial development and infrastructure, pursuant to WRP Policy 6.2.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>3</b>	<b>Promote use of New York City's waterways for commercial and recreational boating and water-dependent transportation.</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.1.	Support and encourage in-water recreational activities in suitable locations.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.2	Support and encourage recreational, educational and commercial boating in New York City's maritime centers.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.3	Minimize conflicts between recreational boating and commercial ship operations.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.4	Minimize impact of commercial and recreational boating activities on the aquatic environment and surrounding land and water uses.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.5	In Priority Marine Activity Zones, support the ongoing maintenance of maritime infrastructure for water-dependent uses.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>4</b>	<b>Protect and restore the quality and function of ecological systems within the New York City coastal area.</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.1	Protect and restore the ecological quality and component habitats and resources within the Special Natural Waterfront Areas.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.2	Protect and restore the ecological quality and component habitats and resources within the Ecologically Sensitive Maritime and Industrial Area.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.3	Protect designated Significant Coastal Fish and Wildlife Habitats.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.4	Identify, remediate and restore ecological functions within Recognized Ecological Complexes.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.5	Protect and restore tidal and freshwater wetlands.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.6	In addition to wetlands, seek opportunities to create a mosaic of habitats with high ecological value and function that provide environmental and societal benefits. Restoration should strive to incorporate multiple habitat characteristics to achieve the greatest ecological benefit at a single location.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.7	Protect vulnerable plant, fish and wildlife species, and rare ecological communities. Design and develop land and water uses to maximize their integration or compatibility with the identified ecological community.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.8	Maintain and protect living aquatic resources.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

		Promote	Hinder	N/A
<b>5</b>	<b>Protect and improve water quality in the New York City coastal area.</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.1	Manage direct or indirect discharges to waterbodies.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.2	Protect the quality of New York City's waters by managing activities that generate nonpoint source pollution.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.3	Protect water quality when excavating or placing fill in navigable waters and in or near marshes, estuaries, tidal marshes, and wetlands.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.4	Protect the quality and quantity of groundwater, streams, and the sources of water for wetlands.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.5	Protect and improve water quality through cost-effective grey-infrastructure and in-water ecological strategies.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>6</b>	<b>Minimize loss of life, structures, infrastructure, and natural resources caused by flooding and erosion, and increase resilience to future conditions created by climate change.</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6.1	Minimize losses from flooding and erosion by employing non-structural and structural management measures appropriate to the site, the use of the property to be protected, and the surrounding area.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6.2	Integrate consideration of the latest New York City projections of climate change and sea level rise (as published in <i>New York City Panel on Climate Change 2015 Report, Chapter 2: Sea Level Rise and Coastal Storms</i> ) into the planning and design of projects in the city's Coastal Zone.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6.3	Direct public funding for flood prevention or erosion control measures to those locations where the investment will yield significant public benefit.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6.4	Protect and preserve non-renewable sources of sand for beach nourishment.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>7</b>	<b>Minimize environmental degradation and negative impacts on public health from solid waste, toxic pollutants, hazardous materials, and industrial materials that may pose risks to the environment and public health and safety.</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7.1	Manage solid waste material, hazardous wastes, toxic pollutants, substances hazardous to the environment, and the unenclosed storage of industrial materials to protect public health, control pollution and prevent degradation of coastal ecosystems.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7.2	Prevent and remediate discharge of petroleum products.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7.3	Transport solid waste and hazardous materials and site solid and hazardous waste facilities in a manner that minimizes potential degradation of coastal resources.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>8</b>	<b>Provide public access to, from, and along New York City's coastal waters.</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8.1	Preserve, protect, maintain, and enhance physical, visual and recreational access to the waterfront.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8.2	Incorporate public access into new public and private development where compatible with proposed land use and coastal location.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8.3	Provide visual access to the waterfront where physically practical.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8.4	Preserve and develop waterfront open space and recreation on publicly owned land at suitable locations.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

		Promote	Hinder	N/A
8.5	Preserve the public interest in and use of lands and waters held in public trust by the State and City.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8.6	Design waterfront public spaces to encourage the waterfront's identity and encourage stewardship.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>9</b>	<b>Protect scenic resources that contribute to the visual quality of the New York City coastal area.</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9.1	Protect and improve visual quality associated with New York City's urban context and the historic and working waterfront.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9.2	Protect and enhance scenic values associated with natural resources.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>10</b>	<b>Protect, preserve, and enhance resources significant to the historical, archaeological, architectural, and cultural legacy of the New York City coastal area.</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10.1	Retain and preserve historic resources, and enhance resources significant to the coastal culture of New York City.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10.2	Protect and preserve archaeological resources and artifacts.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## G. CERTIFICATION

The applicant or agent must certify that the proposed activity is consistent with New York City's approved Local Waterfront Revitalization Program, pursuant to New York State's Coastal Management Program. If this certification cannot be made, the proposed activity shall not be undertaken. If this certification can be made, complete this Section.

"The proposed activity complies with New York State's approved Coastal Management Program as expressed in New York City's approved Local Waterfront Revitalization Program, pursuant to New York State's Coastal Management Program, and will be conducted in a manner consistent with such program."

Applicant/Agent's Name: Daniel Ciniello

Address: 22 Cortlandt Street, 11th Floor, New York, New York 10007

Telephone: 212-962-2399 Email: dciniello@renewnyc.com

Applicant/Agent's Signature: \_\_\_\_\_

Date: \_\_\_\_\_

## Submission Requirements

For all actions requiring City Planning Commission approval, materials should be submitted to the Department of City Planning.

For local actions not requiring City Planning Commission review, the applicant or agent shall submit materials to the Lead Agency responsible for environmental review. A copy should also be sent to the Department of City Planning.

For State actions or funding, the Lead Agency responsible for environmental review should transmit its WRP consistency assessment to the Department of City Planning.

For Federal direct actions, funding, or permits applications, including Joint Applicants for Permits, the applicant or agent shall also submit a copy of this completed form along with his/her application to the [NYS Department of State Office of Planning and Development](#) and other relevant state and federal agencies. A copy of the application should be provided to the NYC Department of City Planning.

The Department of City Planning is also available for consultation and advisement regarding WRP consistency procedural matters.

### **New York City Department of City Planning**

Waterfront and Open Space Division  
120 Broadway, 31<sup>st</sup> Floor  
New York, New York 10271  
212-720-3696  
[wrp@planning.nyc.gov](mailto:wrp@planning.nyc.gov)  
[www.nyc.gov/wrp](http://www.nyc.gov/wrp)

### **New York State Department of State**

Office of Planning and Development  
Suite 1010  
One Commerce Place, 99 Washington Avenue  
Albany, New York 12231-0001  
518-474-6000  
[www.dos.ny.gov/opd/programs/consistency](http://www.dos.ny.gov/opd/programs/consistency)

## Applicant Checklist

- Copy of original signed NYC Consistency Assessment Form
- Attachment with consistency assessment statements for all relevant policies
- For Joint Applications for Permits, one (1) copy of the complete application package
- Environmental Review documents
- Drawings (plans, sections, elevations), surveys, photographs, maps, or other information or materials which would support the certification of consistency and are not included in other documents submitted. All drawings should be clearly labeled and at a scale that is legible.
- Policy 6.2 Flood Elevation worksheet, if applicable. For guidance on applicability, refer to the WRP Policy 6.2 Guidance document available at [www.nyc.gov/wrp](http://www.nyc.gov/wrp)

## **Analysis of Waterfront Revitalization Program Policy 6.2**

The Project is an interior renovation of an existing commercial space to create the Jackie Robinson Museum, which will be on the southeast corner of the building at 75 Varick Street, on the first and second floors. This narrative addresses the Project's compliance with Policy 6.2 of the New York City Waterfront Revitalization Program (WRP). The following analysis was prepared in consultation with Langan Engineering & Environmental Services.

### **Step 1 – Identify Vulnerabilities and Consequences**

- a) Refer to the Attached Flood Elevation Worksheet for current and future flood elevations in relation to the Project site. The following analysis is based on the Flood Elevation Worksheet Summary Charts attached here. Elevations listed below refer to the North American Vertical Datum of 1988 (NAVD88).
- b) The average elevation of the project site (9 ft.), which includes the features listed in the Flood Elevation Worksheet, is approximately 2 feet below the elevation of the current 1% annual chance floodplain (11 ft.) and will be subject to future sea level rise projections.

In light of these conditions, the Project's ground floor and basement levels are at risk of flooding and related property damage, including structural damage, damage to mechanical equipment, and loss of museum assets. Damage to the mechanical and critical systems of the project site could result in loss of building services, affecting the operation of community and exhibition spaces.

- c) The Project does not have features that are below the elevation of Mean Higher High Water during the lifespan of the Project, even when accounting for expected sea level rise scenarios.
- d) The Project site is not within a Coastal A or V zone. The Project does not contain materials substances that would cause a threat to the public health or environment if made insecure from wind, water, or debris.

### **Step 2 – Identify Adaptive Strategies**

- a) The Project is an interior renovation of a portion of an existing building that was constructed in 1929. There are no flood protection improvements planned as part of this Project, however there is a flood prevention plan independently proposed for the overall building that includes flood barriers for the existing building including the Project site. The building's flood protection measures will be implemented in the Fall of 2020.
- b) The Project is an interior renovation of part of an existing building and will not include provisions for protection against coastal hazards such as waves, high winds or debris other than any protection that the existing building provides and that will be implemented as part of the building's flood prevention plan.

- d) The Project would not affect the flood protection or exacerbate the flooding potential of adjacent sites. The Project would not protect upland sites from coastal hazards, or affect in any way planned, adjacent flood protection projects.

### **Step 3 – Assess Policy Consistency**

The Project is an interior renovation of part of an existing building that is consistent with Policy 6.2 of the Waterfront Revitalization Program. Though the Project site would be susceptible to flooding until the building implements flood protection measures, flood barriers are scheduled to be installed by the building owner in fall of 2020, *before* the Project's date of completion. With these improvements, flood risk will be appropriately mitigated.

NYC Waterfront Revitalization Program - Policy 6.2 Flood Elevation Worksheet

COMPLETE INSTRUCTIONS ON HOW TO USE THIS WORKSHEET ARE PROVIDED IN THE "CLIMATE CHANGE ADAPTATION GUIDANCE" DOCUMENT AVAILABLE AT [www.nyc.gov/wrp](http://www.nyc.gov/wrp)

Enter information about the project and site in highlighted cells in Tabs 1-3. Tab 4, "Summary Charts" contains primary results. Tab 5, "0.2%+SLR" produces charts to be used for critical infrastructure or facilities. Tab 6, "Calculations" contains background computations. Appendix A contains tide elevations for station across the city to be used for the elevation of MHHW if a site survey is not available. Non-highlighted cells have been locked.

<b>Background Information</b>	
Project Name	Jackie Robinson Museum
Location	75 Varick Street, New York, NY
Type(s)	<input checked="" type="checkbox"/> Residential, Commercial, Community Facility <input type="checkbox"/> Parkland, Open Space, and Natural Areas <input type="checkbox"/> Tidal Wetland Restoration <input type="checkbox"/> Critical Infrastructure or Facility <input type="checkbox"/> Industrial Uses <input type="checkbox"/> Over-water Structures <input checked="" type="checkbox"/> Shoreline Structures <input type="checkbox"/> Transportation <input type="checkbox"/> Wastewater Treatment/Drainage <input type="checkbox"/> Coastal Protection
Description	The project is a 17,000 square foot interior fitout of an existing commercial space into a new museum. The project space is located on the ground and second floor of a 17-story masonry building, in the south-east section of the property.
Planned Completion Date	Dec-20
Expected Project Lifespan	17 years+

The New York City Waterfront Revitalization Program Climate Change Adaptation Guidance document was developed by the NYC Department of City Planning. It is a guidance document only and is not intended to serve as a substitute for actual regulations. The City disclaims any liability for errors that may be contained herein and shall not be responsible for any damages, consequential or actual, arising out of or in connection with the use of this information. The City reserves the right to update or correct information in this guidance document at any time and without notice.

For technical assistance on using this worksheet, email [wrp@planning.nyc.gov](mailto:wrp@planning.nyc.gov), using the message subject "Policy 6.2 Worksheet."

Last update: Sept. 7, 2018



**Establish current tidal and flood heights.**

	FT (NAVD88)	Feet	Datum	Source
MHHW	2.28	2.28	NAVD88	
1% flood height	11.00	11.00	NAVD88	
Design flood elevation	12.00	12.00	NAVD88	
As relevant:				
0.2% flood height	14.40	14.40	NAVD88	14.4 to 14.6

*Data will be converted based on the following datums:*

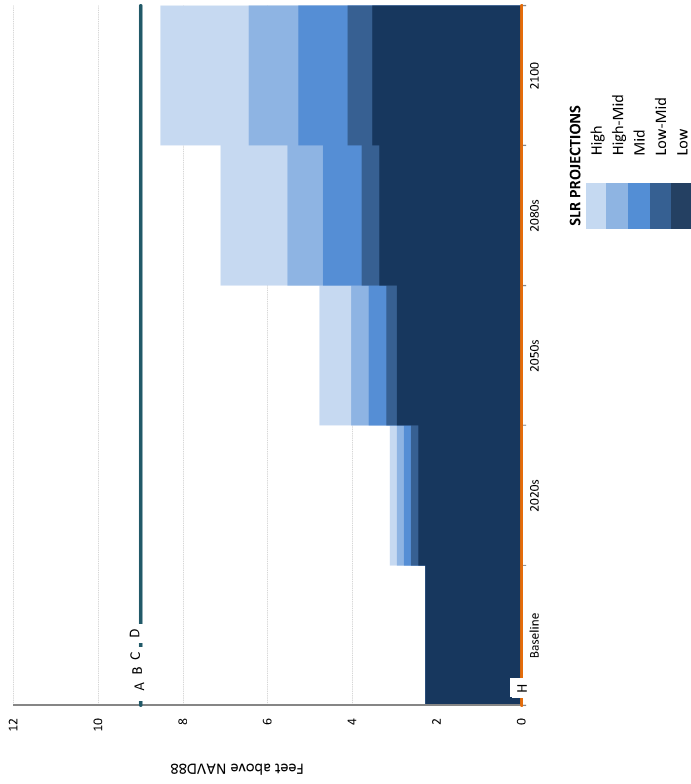
Datum	FT (NAVD88)
NAVD88	0.00
NGVD29	-1.10
Manhattan Datum	1.65
Bronx Datum	1.51
Brooklyn Datum (Sewer)	0.61
Brooklyn Datum (Highway)	1.45
Queens Datum	1.63
Richmond Datum	2.09

**Describe key physical features of the project.**

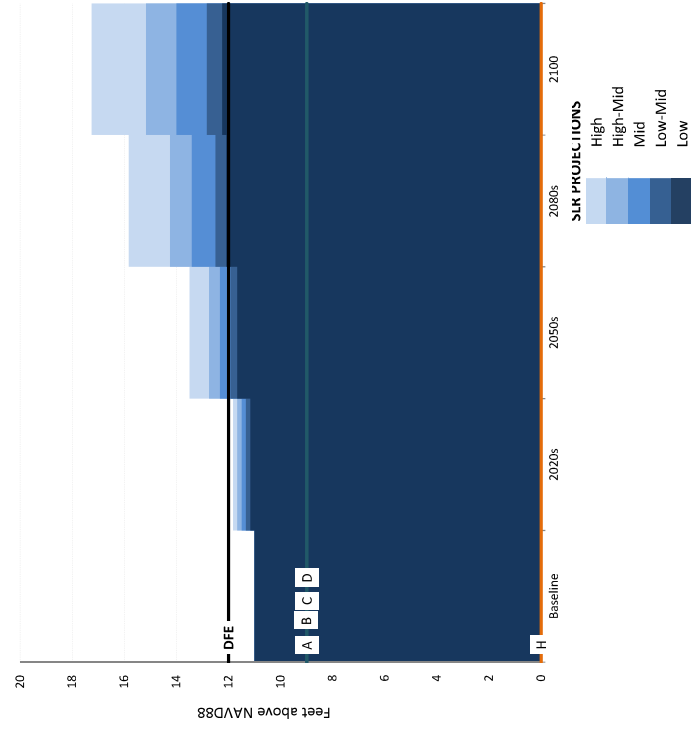
Feature (enter name)	Feature Category			Lifespan	Elevation	Units	Datum	Ft	Ft Above NAVD88	Ft Above MHHW	Ft Above 0.2% flood height
<b>A</b> Community space - The renovation will include space for community gatherings, including meeting space and offices. The space will also include restrooms, a gift shop, and staff lounge.	<input checked="" type="checkbox"/> Vulnerable	<input type="checkbox"/> Critical	<input type="checkbox"/> Potentially Hazardous	<input type="checkbox"/> Other	2040	9.0 Feet	NAVD88	9.0	9.0	6.7	-5.4
<b>B</b> Exhibition Space - The museum will house statues and artwork. The area will consist of open floor-plan exhibit space.	<input type="checkbox"/> Vulnerable	<input checked="" type="checkbox"/> Critical	<input type="checkbox"/> Potentially Hazardous	<input type="checkbox"/> Other	2040	9.0 Feet	NAVD88	9.0	9.0	6.7	-5.4
<b>C</b> Mechanical Equipment - The project will include new IT/AV, mechanical, and plumbing equipment.	<input type="checkbox"/> Vulnerable	<input checked="" type="checkbox"/> Critical	<input type="checkbox"/> Potentially Hazardous	<input type="checkbox"/> Other	2040	9.0 Feet	NAVD88	9.0	9.0	6.7	-5.4
<b>D</b> Construction Materials - Exposed construction materials such as paint, oil, and other equipment may be susceptible to flooding.	<input type="checkbox"/> Vulnerable	<input type="checkbox"/> Critical	<input checked="" type="checkbox"/> Potentially Hazardous	<input type="checkbox"/> Other	2040	9.0 Feet	NAVD88	9.0	9.0	6.7	-5.4
<b>E</b>	<input type="checkbox"/> Vulnerable	<input type="checkbox"/> Critical	<input type="checkbox"/> Potentially Hazardous	<input type="checkbox"/> Other		Feet	NAVD88				
<b>F</b>	<input type="checkbox"/> Vulnerable	<input type="checkbox"/> Critical	<input type="checkbox"/> Potentially Hazardous	<input type="checkbox"/> Other		Feet	NAVD88				
<b>G</b>	<input type="checkbox"/> Vulnerable	<input type="checkbox"/> Critical	<input type="checkbox"/> Potentially Hazardous	<input type="checkbox"/> Other		Feet	NAVD88				
<b>H</b>	<input type="checkbox"/> Vulnerable	<input type="checkbox"/> Critical	<input type="checkbox"/> Potentially Hazardous	<input type="checkbox"/> Other		Feet	NAVD88				

Assess project vulnerability over a range of sea level rise projections.

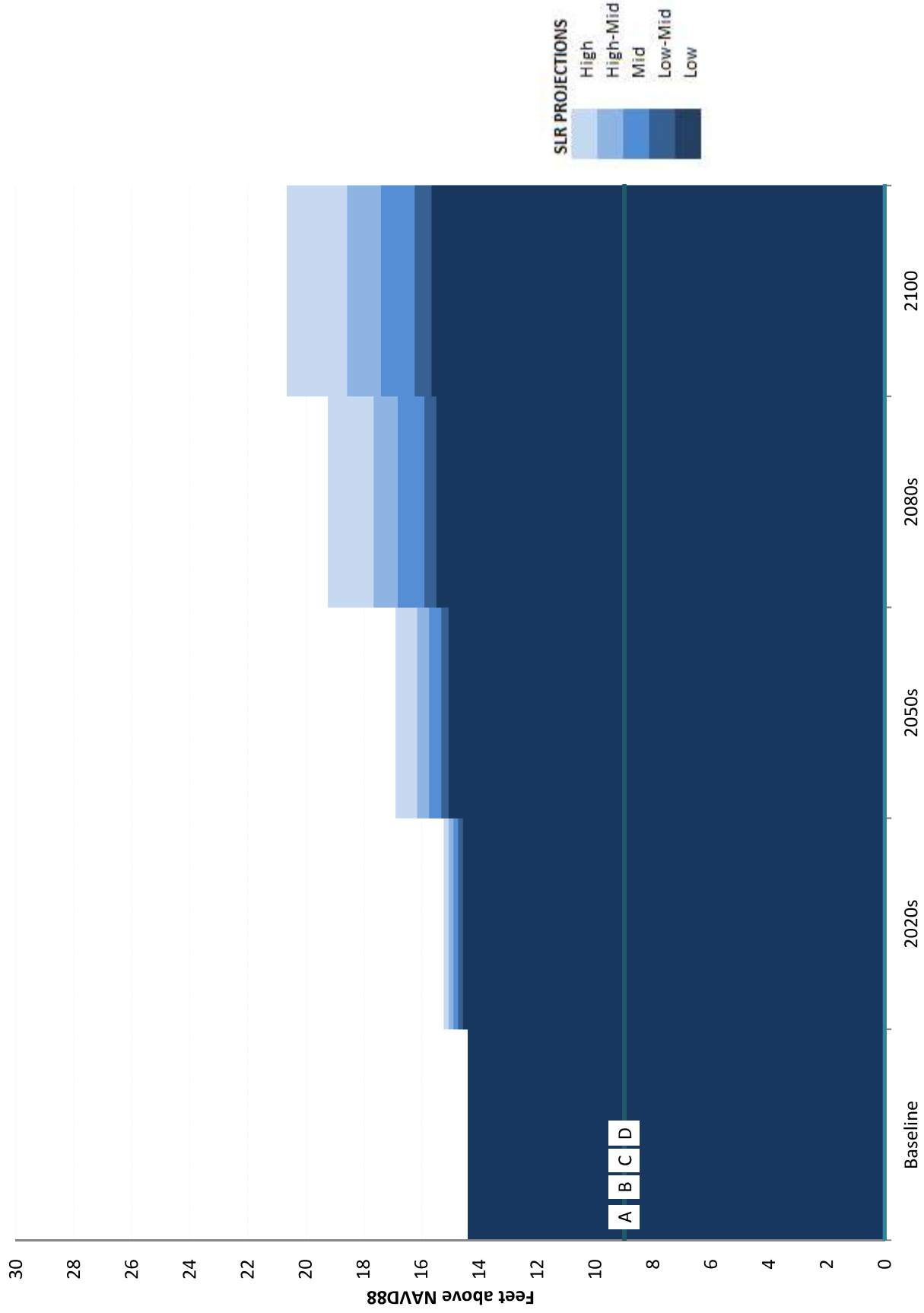
### Mean Higher High Water + Sea Level Rise



### 1% Flood Elevation + Sea Level Rise



# 0.2% Flood Elevation + Sea Level Rise



	SLR (ft)					
	Low	Low-Mid	Mid	High-Mid	High	
Baseline	0.00	0.00	0.00	0.00	0.00	2014
2020s	0.17	0.33	0.50	0.67	0.83	2020s
2050s	0.67	0.92	1.33	1.75	2.50	2050s
2080s	1.08	1.50	2.42	3.25	4.83	2080s
2100	1.25	1.83	3.00	4.17	6.25	2100

**MHHW+SLR (ft above NAVD88)**

	Low	Low-Mid	Mid	High-Mid	High
Baseline	2.28	2.28	2.28	2.28	2.28
2020s	2.45	2.61	2.78	2.95	3.11
2050s	2.95	3.20	3.61	4.03	4.78
2080s	3.36	3.78	4.70	5.53	7.11
2100	3.53	4.11	5.28	6.45	8.53

**1%+SLR (ft above NAVD88)**

	Low	Low-Mid	Mid	High-Mid	High
Baseline	11.00	11.00	11.00	11.00	11.00
2020s	11.17	11.33	11.50	11.67	11.83
2050s	11.67	11.92	12.33	12.75	13.50
2080s	12.08	12.50	13.42	14.25	15.83
2100	12.25	12.83	14.00	15.17	17.25

**0.2%+SLR (ft above NAVD88)**

	Low	Low-Mid	Mid	High-Mid	High
Baseline	14.40	14.40	14.40	14.40	14.40
2020s	14.57	14.73	14.90	15.07	15.23
2050s	15.07	15.32	15.73	16.15	16.90
2080s	15.48	15.90	16.82	17.65	19.23
2100	15.65	16.23	17.40	18.57	20.65

	0	1
A	9	9
B	9	9
C	9	9
D	9	9
E	0	0
F	0	0
G	0	0
H	0	0
DFE	12.00	12.00

**SLR (in)**

<b>Low</b>	<b>Low-Mid</b>	<b>Mid</b>	<b>High-Mid</b>	<b>High</b>
0	0	0	0	0
2	4	6	8	10
8	11	16	21	30
13	18	29	39	58
15	22	36	50	75



**NOAA Tide Station Data**

(to be used only when a site survey is unavailable)

<b>Station ID</b>	<b>Station Name</b>	<b>Source MHHW (Feet, NAVD88)*</b>	<b>Adjusted MHHW (Feet, NAVD88)*</b>
8518687	Queensboro Bridge	2.27	2.60
8530095	Alpine	2.11	2.44
8516614	Glen Cove	3.72	4.05
8516990	Willetts Point	3.72	4.05
8518639	Port Morris	3.33	3.66
8518699	Williamsburg Bridge	2.14	2.47
8518750	The Battery	2.28	2.61
8531680	Sandy Hook	2.41	2.74
8518490	New Rochelle	3.71	4.04
8531545	Keyport	2.66	2.99
8516891	Norton Point	2.08	2.41
8517201	North Channel	2.72	3.05
8517137	Beach Channel	2.10	2.43
8517756	Kingsborough	2.13	2.46
8519436	Great Kills	2.22	2.55
8531142	Port Reading	2.82	3.15
8519483	Bergen Point	2.56	2.89
8519050	USCG	2.28	2.61
8518902	Dyckman St	2.01	2.34
8517251	Worlds Fair Marina	3.59	3.92
8518668	Horns Hook	2.54	2.87
8518643	Randalls Island	2.60	2.93
8518526	Throggs Neck	3.68	4.01

\* MHHW values include an addition 0.33 feet to account for changes in sea level since the 1983-200

Source
<a href="#">NOAA Tides and Currents</a>
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<a href="#">NOAA Tides and Currents</a>
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<a href="#">NOAA Tides and Currents</a>

01 tidal epoch.







## Tapert, Nicholas W.

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**From:** Allan Zaretsky (DCP) <AZARETSKY@planning.nyc.gov>  
**Sent:** Friday, May 8, 2020 3:44 PM  
**To:** Tapert, Nicholas W.  
**Cc:** 'Daniel Ciniello'; Matthew Maraglio (Matthew.Maraglio@dos.ny.gov); Michael Marrella (DCP)  
**Subject:** WRP Concurrence Review: Jackie Robinson Museum (WRP #20-066)

Hello Nicholas,

We have completed the review of the project as described below for consistency with the policies and intent of the New York City Waterfront Revitalization Program (WRP).

**Jackie Robinson Museum:** Proposal to develop the Jackie Robinson Museum. The museum will occupy 19,380 square feet of the ground floor in an existing building constructed in 1929.

Based on the information submitted, the Waterfront Open Space Division, on behalf of the New York City Coastal Commission, having reviewed the waterfront aspect of this action, finds that the actions will not substantially hinder the achievement of any Waterfront Revitalization Program (WRP) policy and provides its finding to the New York State Department of State (DOS). Please note that the proposed action(s) are subject to consistency review and approval by the New York State Department of State (DOS) in accordance with the New York State Coastal Management Program.

This determination is only applicable to the information received and the current proposal. Any additional information or project modifications would require an independent consistency review.

For your records, this project has been assigned WRP # 20-066. If there are any questions regarding this review, please contact me.

Regards,

Allan Zaretsky  
Senior Planner | [WATERFRONT & OPEN SPACE DIVISION](#)  
Waterfront Revitalization Program Consistency Review

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<http://www1.nyc.gov/site/planning/applicants/wrp/wrp.page>

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**DEPARTMENT OF STATE**

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GOVERNOR

ROSSANA ROSADO  
SECRETARY OF STATE

May 15, 2020

Daniel A. Ciniello  
Lower Manhattan Development Corporation  
22 Cortlandt St, 11<sup>th</sup> Floor  
New York, NY 10007

Re: **F-2020-0356 (FA)**  
Lower Manhattan Development Corporation  
HUD-CDBG -Federal funding for renovations of  
the Jackie Robinson Museum  
75 Varick Street, Manhattan, New York County  
**General Concurrence –No Objection to Funding**

Dear Daniel Ciniello

The Department of State (DOS) received the information you submitted regarding the above proposed federal financial assistance on April 29, 2019. Based on this review, the Department of State has no objection to the release of the HUD Community Development Block Grant (CDBG) funding in support of the proposed project.

***This concurrence pertains to the federal financial assistance activity or activities for this project only.*** If certain activities require a federal permit or other form of federal agency authorization, the Department of State would conduct separate consistency review(s) of permit activities at the time such application(s) may be made to a federal agency.

When communicating with us regarding this matter, please contact us at (518) 474-6000 and refer to our file # F-2020-0356 (FA).

Sincerely,



Matthew Maraglio  
Supervisor, Consistency Review Unit  
Office of Planning, Development and  
Community Infrastructure

MM/rf

Cc: Allan Zaretsky, NYC LWRP



**Department  
of State**